

ARCHITECTURAL & ENGINEERING DESIGN PROJECT EXPLANARY REPORT

Clare Glens River Walk Enhancement Plan

William Mc Garry & Associates Engineers

Site Address

Clare Glens, Newport, Co. Tipperary

Planning Authority

An Bord Pleanála

Reference Number

25.0102



Comhairle Contae Thiobraid Árann
Tipperary County Council

**WILL MC GARRY & ASSOCIATES
ENGINEERS
15 MARY STREET CLONMEL**

PHONE: 052 6181828

MOBILE: 086 2737455

EMAIL: INFO@WMAA.IE

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Rev	Description	Issued by	Checked	Date
V01	Issued to Client	ZG	WMA	14/05/25

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Author	Signature	Date
Zachary Guidera BEng (Hons) BEng MIEI Engineer		14/05/25

Reviewed	Signature	Date
Will Mc Garry BEng (Hons) BEng MIEI Engineer		14/05/25

1.0 Introduction

The Clare Glens is a Special Area of Conservation (SAC) Located on the Tipperary and Limerick Border. The Clare Glens is a designated Special Area of Conservation and of an Important heritage to Ireland. The location of rare flora within the amenity space has designated the area as special area of high concern regarding ecology and environmental impact.

The proposed report aims to outline the mitigation affects that the proposed works have incorporated with an ethos of "Light Hand Approach".

The proposed works have been detailed at this stage to have a minimum effect on the Clare Glens, utilizing Modern Methods of Construction, offsite where possible.

Where possible works have been completely removed outside of the Clare Glens amenity space ensuring that the ecosystem and visceral feel of the ancient woodlands remains intact.

The works have been detailed in the following report dealing with the site History, Environmental, Ecology,

1.1 Summary of report

Summary of APB Application requirements		
	APB Required ITEM	Report
01.	Full description of proposed development including details of construction and operational phases and impacts, likely emissions and/or discharges, phasing, and any mitigation measures proposed;	Architectural & Engineering design statement Construction Environmental Management Plan Natura Impact Statement
02.	Protected Structures, Architectural Conservation Area (ACA), archaeological sites or ancient monuments or other built heritage etc. immediately impacted upon or in vicinity whose setting might be affected	Archaeological Design Statement
03.	Adequacy of the public or other water supply;	Architectural & Engineering design statement
04.	Public sewerage facilities and capacity to facilitate the proposed development;	Architectural & Engineering design statement
05.	Availability and capacity of surface water drainage facilities and any history of flooding relevant to the site;	Architectural & Engineering design statement
06.	Flood risk assessment in accordance with The Planning System and Flood Risk Management – Guidelines for Planning Authorities (November 2009);	N/A Flood Risk Assessment statement no impact of flooding on the site or likely to be caused by the works which is an upgrade to existing.
07.	Hydrological / hydrogeological assessment of project;	N/A no works impacting on groundwater or body of water.
08.	Assessment under the Water Framework Directive and associated regulations including any capacity of receiving waters to assimilate any additional discharge loadings in accordance with water quality standards and objectives;	N/A no additional surface water is being added to receiving waters.
09.	Assessment of landscape status and visual impact, as appropriate;	Natura Impact Statement

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10.	Carrying capacity and safety of road network serving the proposed development;	Architectural & Engineering design statement
11.	The likely significant impact arising from the proposed development, if carried out including impacts on amenities of properties in vicinity;	N/A Existing amenity to be upgraded
12.	Air, odour and noise emission assessments; and	Construction Environmental Management Plan & Environmental Impact Assessment
13.	Any Special Amenity Area Order (SAAO) which may be affected by the proposed development	TBC by Tipperary County Council
14.	Justification for the project;	Refer to Tipperary Co Council application for Funding to Outdoor Recreation Infrastructure Scheme 2022
15.	main Development Plan provisions relating to the subject site and surrounding area including any relevant Core Strategy provisions;	N/A Existing amenity to be upgraded
16.	relevant planning history relating to the subject site and the surrounding area;	Architectural & Engineering design statement
17.	relevant national, regional and local policies	Architectural & Engineering design statement
18.	description of use of adjoining, abutting or adjacent lands.	N/A

1.2 Purpose of Submission

The proposed submission is for the upgrade of the existing amenity space in the form of an upgrade to the existing path and creation of an emergency staging area for rapid emergency teams under the "Outdoor Recreation infrastructure scheme 2022 and the County Tipperary development Plan.

2.0 Limitations of Review

This report only deals with the proposed works incorporated in this planning application for the Tipperary County Council on Behalf of the Client Tipperary County Council.

The Clare Glens is a designated Special Area of Conservation and of an Important heritage to Ireland. The location of rare flora within the amenity space has designated the area as special area of high concern regarding ecology and environmental impact.

The proposed report aims to outline the mitigation affects that the proposed works have incorporated with an ethos of "Light Hand Approach".

The proposed works have been detailed at this stage to have a minimum effect on the Clare Glens, utilizing Modern Methods of Construction, offsite where possible.

Where possible works have been completely removed outside of the Clare Glens amenity space ensuring that the ecosystem and visceral feel of the ancient woodlands remains intact.

3.0 Project Overview

The project focuses on the upgrade of a scenic forest walk that offers a harmonious experience between nature and human interaction. Situated within a dense, lush forest, the design aims to enhance the natural beauty of the landscape while providing visitors with a serene space to connect with the environment. The walk is intended to offer a peaceful, reflective experience for visitors of all ages and backgrounds.

The project consists of the following:

- New Path at entrance through existing conifer trees outside of the ancient oak forest,
- Upgrade to the existing path for the emergency response access and critical maintenance
- 2 Viewing platforms
- Renovation of the existing foot bridge.
- A new emergency set down staging area for maintenance out with the protected area
- New pedestrian access away from the exiting bends.

3.1 The Site

The project is located in North Tipperary adjacent to the Limerick County Boarder. The total site area for the project is 13.6 Hectares encompassing a river gorge with natural forest on either bank. The forest tree species is a combination of both new age conifer trees transplanted and ancient Natural woodlands.

The topography of the site is very varied from level upper level bank to steep gorge with a winding natural trail through the treeline. The topography leads from the rivers bank to a step incline out of the gorge to an elevated landscape on top.

The site is accessed from the Tullow road (un numbered road). A parking area with associated play area is located out width the Clare Glens area. An access route adjacent to the main road is partial to some of the walk with the final entrance crossing the Road and adjacent to the bend requiring you to walk along the regional road to the entrance gate.

The Mostly Natural Forest is bounded on by agricultural land to the North Sout and East while the West of the site is bounded by the roadway.

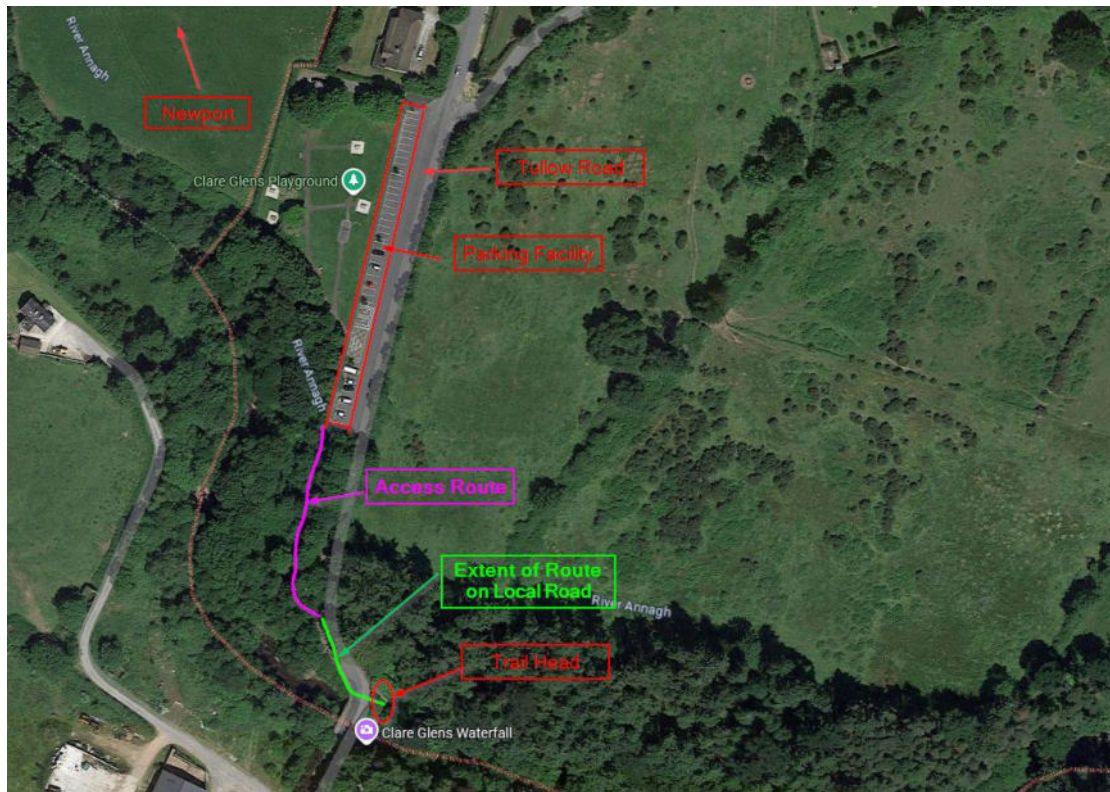


Figure 1: Site Location (Source Google Maps)

3.2 Geology

Clare Glens is a deep river gorge over about 2.5 km long, with rock exposures in the bed and banks of the Clare River, which is the boundary between County Tipperary and County Limerick in this district. The site is Devonian Rock formation exposed at the Clare Glens. described as the Keeper Hill Formation. the extensive exposures of Devonian rocks, sometimes still referred to informally as 'Old Red Sandstone' form the primary rock stratum which is mostly sandstones with some pebbly conglomerates. The river gorge is Holocene in age but probably had a strong glacial meltwater origin.

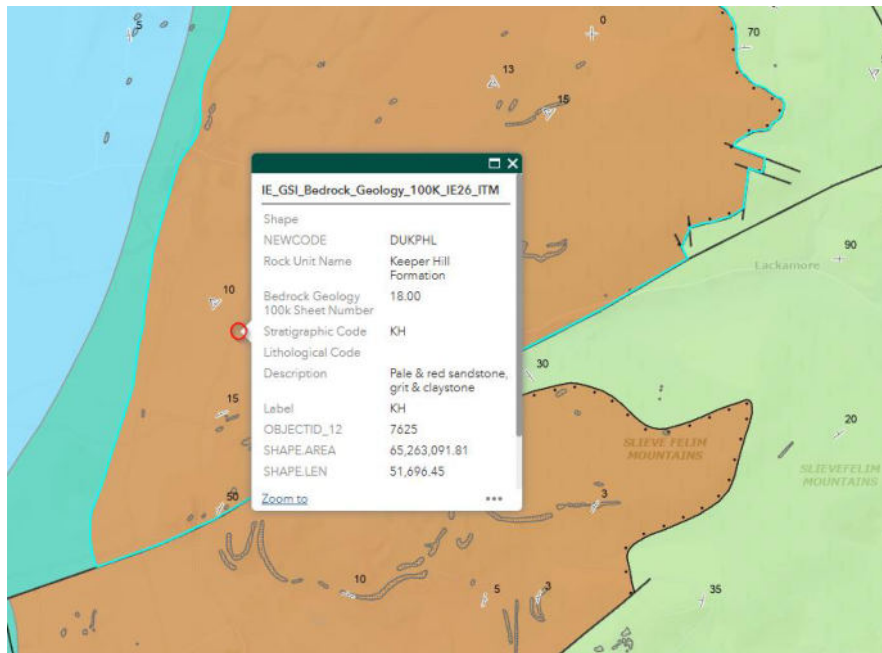


Figure 2: Extract of the IE_GSI_Bedrock_Geology_100K

Geoheritage Audited Site

ID TY 020



Figure 3: Extract of Geo heritage Arch GIS 2025

Description

Clare Glens is a deep river gorge over about 2.5km long, The Clare Glens provide a good representative section of Devonian rocks, otherwise not well exposed and together with the geomorphological interest and educational potential, deserve recognition as a County Geological Site.

Clare Glens is an SAC [00930] and already protected for its biological interest of oak woodlands and associated plant species. It is the county boundary between County Tipperary and County Limerick and jointly managed as a public amenity and nature reserve. The site will also need to be defined and documented as a CGS when an audit of County Limerick is progressed. The paths are slippery and uneven in many places and must be treated with caution by visitors. The higher level path at the top of the gorge is generally easier, but more removed from the interesting geological exposures in the river bed. The public signboards do mention some

geological elements but could be much expanded. Two public car parks are available at the western end of the site.

Refer to Appendix MMM for further information

Impact

The proposed works in the from of the upgraded path will have no adverse effects on the existing rock formations. Where works to the exposed rock heads are to be undertaken in the from of the installation of the viewing platform , the proposed works should be undertaken with a sympathetic system of plan with limited impact on the natural formations.

3.4 Archaeology

SMRZones represent an area around each monument, the scale of which varies with the class of monument. This area does not define the extent of the monument, nor does it define a buffer area beyond which ground disturbance should not take place – it merely identifies an area of land within which it is expected that the monument will be located. It is not a constraint area for screening – such must be set by the relevant authority who requires screening for their own purposes.

The Clare Glens amenity space is directly abutting two SMR Zones which are identified below. The bridge which is identified in the NIAHBuildings also.



Figure 4: Extract of Archaeology (Arch GIS 2025)

National Inventory of Architectural Heritage (NIAHBuildings)

National Inventory of Architectural Heritage (NIAHBuildings)

ID: 30140

REG No 22,403,702

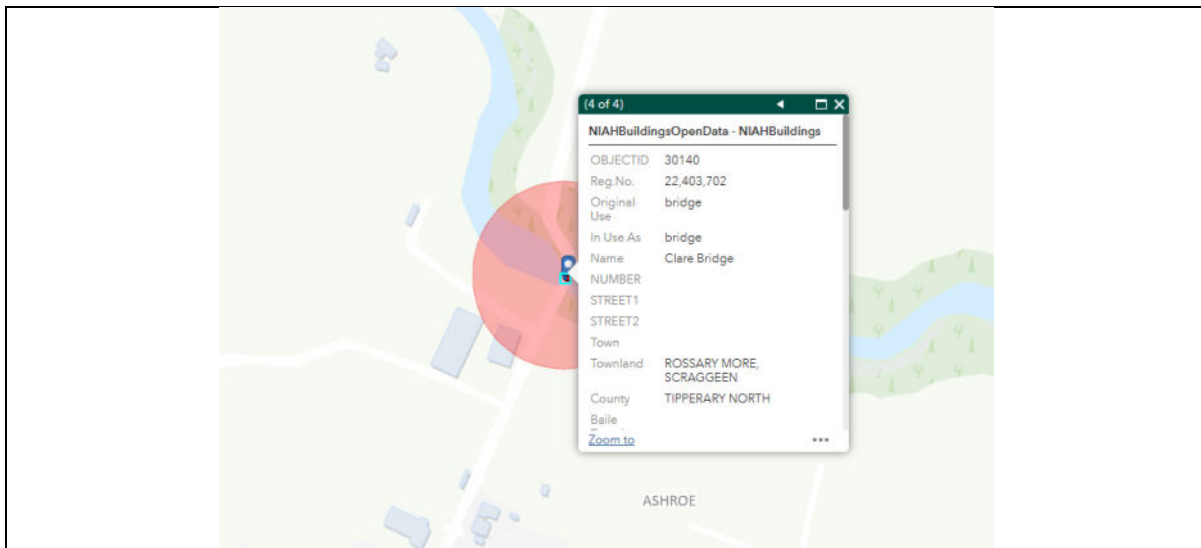


Figure 5: Extract of Archaeology (Arch GIS 2025)

Description:

Single-arch humpbacked road bridge over Clare River, built c.1770 and widened 1820, with rubble limestone walls and roughly-dressed limestone voussoirs to parabolic arch. Bridge shows evidence of widening. Pedestrian gates set in wall near bridge

Appraisal:

Set in a wooded landscape, this bridge is a picturesque and notable addition to the surrounding area. The irregular form of the arch is a particularly interesting feature of the bridge, while the rubble stone masonry adds textural interest to the site. The evidence for a widening of the bridge suggests that the original structure is likely to be eighteenth century.

Impact:

The works to be carried out on site are limited to within the boundary wall of the site and will have no effect on the Bridge monument. The works within the bounding wall of the bridge are to upgrade the walking path within the site. A method of work should be employed by the contractor to ensure that works around the monument have no adverse affect.

National Inventory of Architectural Heritage (NIAHBuildings)

ID : TN 02550

Bridge

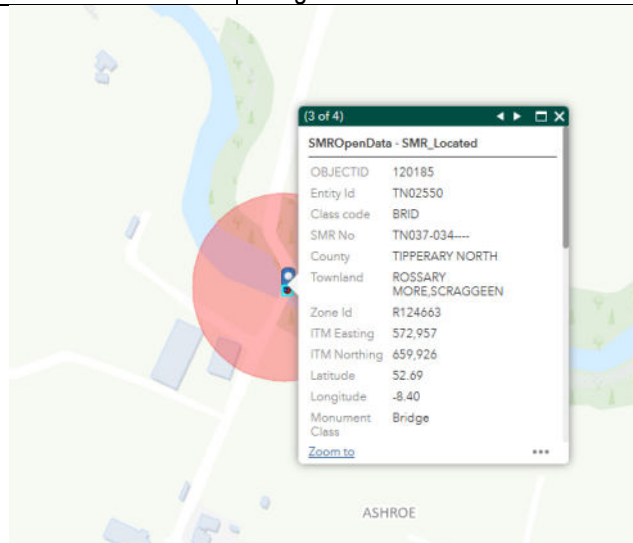


Figure 6: National Inventory of Architectural Heritage

A small humpback single-arched bridge (Wth 5.8m; wall T 0.5m) over the River Clare with roughly cut voussoirs. Evidence of a straight joint on the soffit of the arch indicates that the bridge was widened. The bridge originally measured approx. 2.9m in width. As this bridge links both Limerick and Tipperary counties it is also listed under TN037-034.

The above description is derived from 'The Archaeological Inventory of County Tipperary. Vol. 1 - North Tipperary' compiled by Jean Farrelly and Caimin O'Brien (Dublin: Stationery Office, 2002)

Impact

The works to be carried out on site are limited to within the boundary wall of the site and will have no affect on the Bridge monument. The works within the bounding wall of the bridge are to upgrade the walking path within the site. A method of work should be employed by the contractor to ensure that works around the monument have no adverse affect.

NOTE Due care should always be taken where the site is impacted into an SMR Zone as the zone highlights the area of the item but the zone is not an exact position, further areas outside of the SMRZone of archaeological importance could be impacted or encountered.

ID : TN02551

Rath / Ringfort

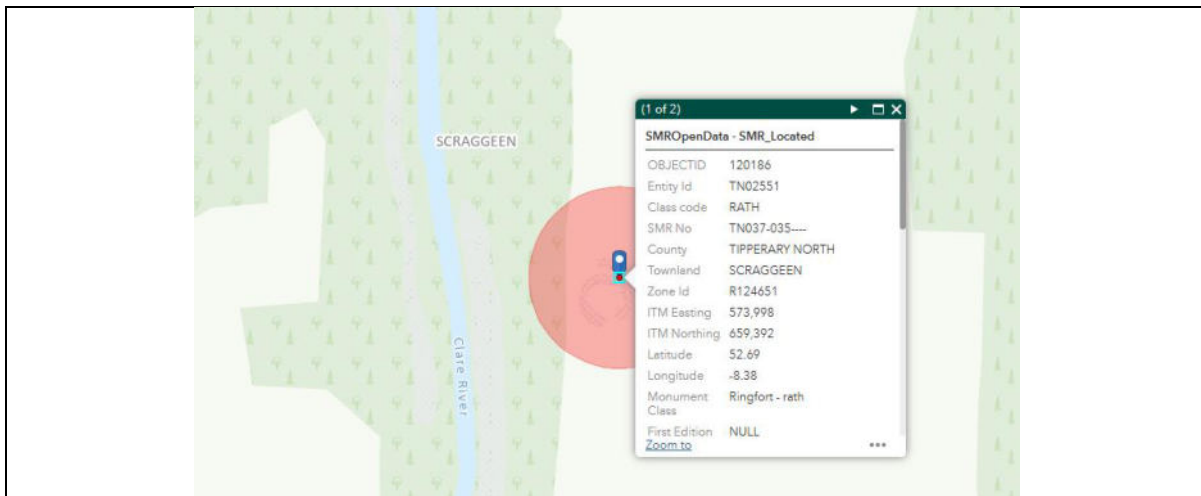


Figure 7: National Inventory of Architectural Heritage (Arch GIS 2025)

Description: Rath (Ringfort) Situated on a N-S ridge in upland, overlooking the Clare River to the W. A raised circular area (diam. 24.55m NE-SW) enclosed by two earth and stone banks with a wide intervening fosse (Wth 3-4m; D 0.35m) and a possible causewayed entrance (Wth 4m) at ESE. The inner bank (Wth 1m; ext. H 1m) is poorly preserved and is reduced to a scarp in most places while the outer bank is mainly constructed of stone and has the appearance of a cashel wall (T 2m; H 0.7m) which is destroyed from SW through W to N. The above description is derived from 'The Archaeological Inventory of County Tipperary. Vol. 1 - North Tipperary' compiled by Jean Farrelly and Caimin O'Brien (Dublin: Stationery Office, 2002). In certain instances the entries have been revised and updated in the light of recent research.

Impact

The ringfort lies outside the boundary of the site but the SMRZones zone of influence is within the site boundary. As no works are proposed within the Possible archaeological area where the monument is located there will be no impact on the Rath.

NOTE Due care should always be taken where the site is impacted into an SMR Zone as the zone highlights the area of the item but the zone is not an exact position, further areas outside of the SMRZone of archaeological importance could be impacted or encountered.

Record of Protected Structures for County (RPS)

Local authorities maintain a public record of protected structures. Protected structures and structures which are of architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest.

Tipperary Record of Protected Structures for County

ID : TRPS 793

Bridge



Figure 8: Extract of Tipperary Record of Protected Structures.

Single-arch Humpbacked Road bridge over Annagh River, Built C. 1820, with rubble limestone walls and roughly- dressed limestone voussoirs to parabolic arch. Bridge shows evidence of widening. Pedestrian gates set in wall near bridge.

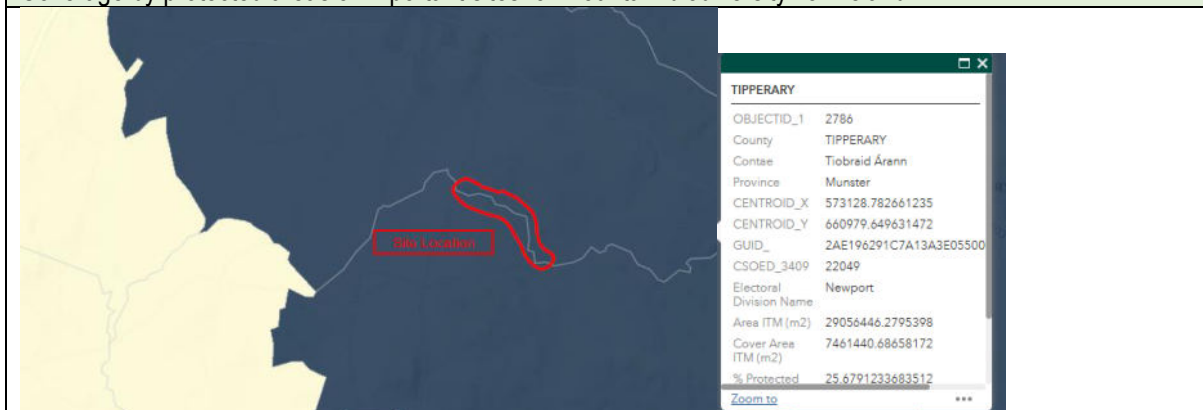
Impact

The works to be carried out on site are limited to within the boundary wall of the site and will have no affect on the Bridge monument. The works within the bounding wall of the bridge are to upgrade the walking path within the site. A method of work should be employed by the contractor to ensure that works around the monument have no adverse effect.

NOTE Due care should always be taken where the site is impacted into on Protected Structures. Refer to Archaeological statement for the protected structure.

3.5 Ecology

Coverage by protected areas of important sites for mountain biodiversity' for Ireland



Description

The layer represents percentage mountain area covered by protected sites at Electoral Division level. The layer has been developed as a proxy to represent SDG 15.4.1 'Coverage by protected areas of important sites for mountain biodiversity' for Ireland. The layer was created using protected areas data produced by the National Parks and Wildlife Service (i.e. Special Areas of Conservation, Special Protection Areas, Natural Heritage Sites (sites were selected by site name)), more info, and Electoral Division boundary data produced by Tailte Éireann. In 2015 UN countries adopted a set of 17 goals to end poverty, protect the planet and ensure prosperity for all as part of a new sustainable development agenda. Each goal has specific targets to help achieve the goals set out in the agenda by 2030. Governments are committed to establishing national frameworks for the achievement of the 17 Goals and to review progress using accessible quality data. With these goals in mind the CSO and Tailte Éireann are working together to link geography and statistics to produce indicators that help communicate and monitor Ireland's performance in relation to achieving the 17 sustainable development goals. The indicator displayed supports the efforts to achieve goal number 15 which aims to protect, restore and promote sustainable use of terrestrial ecosystems, sustainably manage forests, combat desertification, and halt and reverse land degradation and halt biodiversity loss

Impact :

Refer to Nautra Impact statement for further information.

3.6 Flooding

A review has been carried of the mapped data including the Ordnance Survey, the OPW Flood Hazard Mapping and the Catchment Flood Risk Assessment and Management (CFRAM) studies.

Historic Mapped Data

Following a review of the historic maps for the area including the OS 6-inch map and 25-inch it can be seen on these maps that there is no record of areas "Liable to Flood" See extract below.



Figure 9: Historic 6" Map

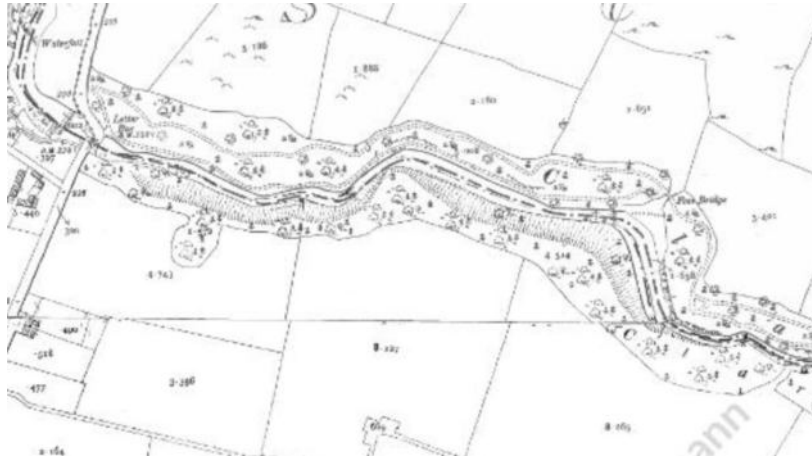


Figure 10: Historic 25" Map

OPW Flood Hazard Mapping

As part of the National Flood Risk Management Policy, the OPW developed a web-based data set, which contains information concerning historical flood data and displays related mapped information.

Studies carried out by the OPW are at the core of the national policy for flood risk management and the strategy for its implementation. Part of the CFRAM Studies is to assess flood risk, through the identification of flood hazard areas and the associated impacts of flooding. The CFRAM studies consider coastal and fluvial flooding. The CFRAM map for the area is outline below.

After reviewing Flood Hazard Maps for the area, there is no indication of recurring area affecting the area in either pluvial or Fluvial flooding.

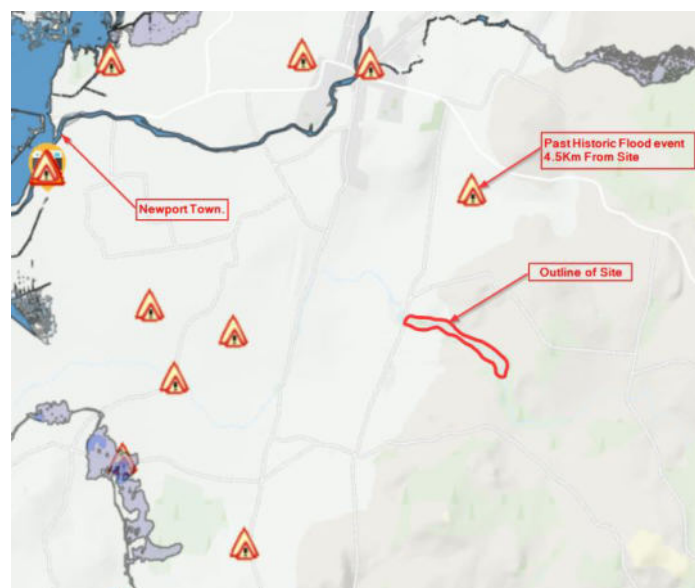


Figure 11: OPW Flood Mapping Extract

3.7 Planning History

Previous Planning History

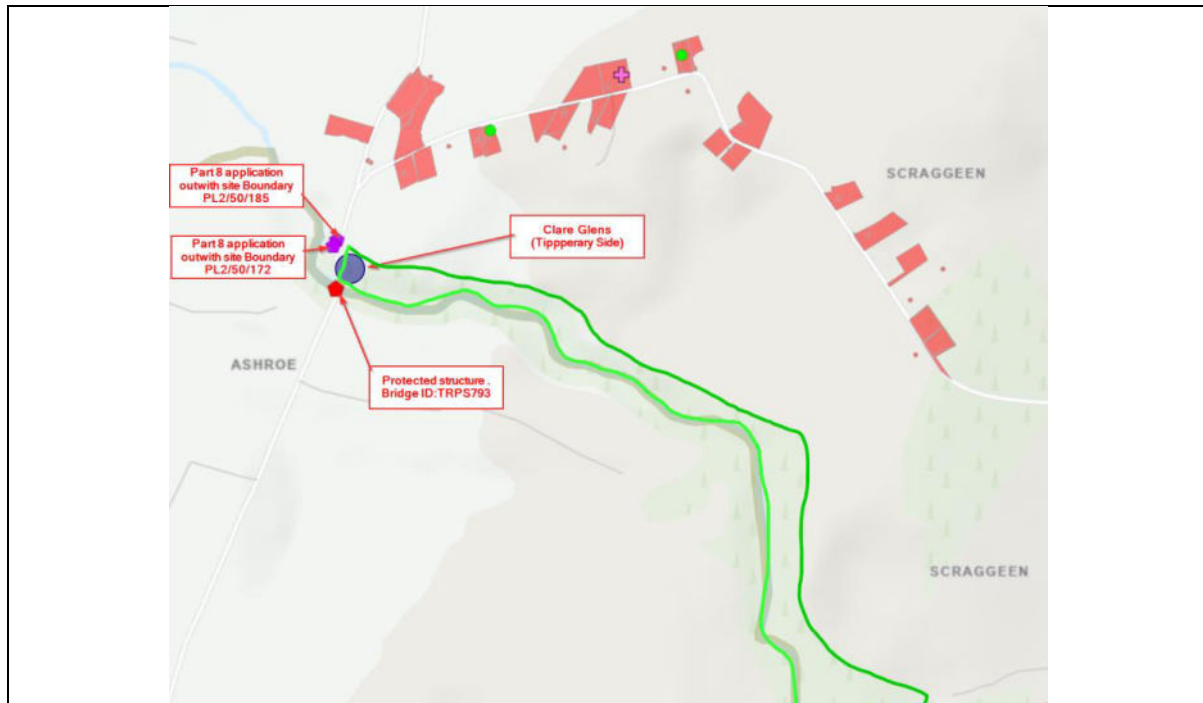


Figure 12: Extract of Tipperary Planning Search (04/2024)

Application to Tipperary County Council	Ref
Part 8 Application	PL2/50/172
Within Ownership boundary but outside scope of works	
Part 8 Application	PL2/50/175
Within Ownership boundary but outside scope of works	

No previous planning application have been made for Clare Glens to Tipperary County Council within the site boundary of the works proposed. Application have been made to the council for works within the ownership boundary of the site.

3.7 Policy Context

3.7.1 National Level

The application is being made under the Outdoor Recreation Infrastructure Scheme 2022. The Outdoor Recreation Infrastructure Scheme (ORIS) provides funding for the development of new outdoor recreational infrastructure. It also provides support for the necessary repair, maintenance, enhancement or promotion of existing outdoor recreational infrastructure in rural areas across Ireland.

The scheme supports outdoor recreation activities such as walking, trekking, cycling, kayaking and hiking. It helps to make use of the resources of the countryside that contribute to healthy active lifestyles. It supports the economic and tourism potential of the area for both local communities and tourist visitors alike.

3.7.2 County Development Plan

Tipperary Transforming – Tourism Product Development Plan 2020 – 2030'

The site is not located within a particular strategy plan but falls under the General "Tipperary Transforming – Tourism Product Development Plan 2020 – 2030' (Tipperary Tourism and Tipperary County Council), supporting

the importance of the a collaborative approach with stakeholders to enhance tourist experience and support local areas in managing the growth. Particularly from planning.

Planning Policy as Pre County Development Plan

It is the policy of the Council to:

9-1	Encourage and support tourism development, including accommodation and related facilities, to locate within existing settlements, subject to normal planning and environmental considerations, where they can support compact growth and regeneration, provision of services and the general economic vitality of settlements. New development will be required to relate sympathetically to the scale, capacity and level of development and facilities in the settlement
9-2	In assessing proposals for tourism development, including accommodation, at locations outside of settlement centres, to consider proposals on a case-by-case basis, having regard to; (a) The nature and scale of the proposal in the context of its setting, (b) The specific need for the development to locate in the rural area and not within a settlement, (c) Demonstration that the development is compatible with the protection of the environment, including lakeshore and riparian habitats. (d) The environmental conditions and sensitivities, scenic amenity, availability of services and the cumulative impact of such developments on the environment.
9-3	Encourage all new tourism related development proposals to: (a) Maximise energy efficiency through siting, layout, design and incorporate best practice in energy technologies, conservation and smart technology. (b) Support best-practice environmental management including energy efficiency, waste management, biodiversity and sustainable transport.

Table 1: Extract Planning Policy for Tourism Development (Tipperary County Development Plan 2022)

Green and Blue Infrastructure

The Council acknowledges the importance of existing way-marked ways and rights of way in the county and in this respect will seek to preserve and maintain existing public rights-of-way and way-marked ways. Where appropriate, and in the interest of gaining formal public access to important tourism or heritage attractions, the Council may also undertake a formal process of preserving and implementing public rights of way. The Council will seek to ensure that public rights-of-way are well marked and signposted, and will seek to integrate signage with existing themes and brands where appropriate. The Council will work with the following stakeholders; National Trails Office of the Irish Sports Council, Waterways Ireland, Bord Na Mona, LEADER, the Heritage Council, Office of Public Works and the National Parks and Wildlife Service.

Planning Policy as pre County Development Plan

It is the policy of the Council to:

14-1	(a) Require new development proposals to incorporate a 'Green Infrastructure' approach to the planning, design and management of built form/public realm and green and blue spaces, (where feasible), and to consider all opportunities for synergies and linkages with existing blue and green infrastructure in both urban and rural areas, in line with the Development Management Standards set out in Volume 3. (b) Ensure that proposals for greenway/blueway development contribute towards the protection or enhancement of existing green infrastructure and have regard to the "Connecting with nature for health and wellbeing" EPA Research Report 2020 and the Development Management Standards 1.1 Habitats Directive Assessment and
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	1.2 Environmental Assessment. (c) Where new development is required to prepare a 'Sustainability Statement', they must demonstrate compliance with this policy to the satisfaction of the Council.
14-2	Preserve and protect existing public rights-of-ways, and way-marked ways which give access to lakeshores, mountains, riverbanks or other places of natural beauty or recreational, tourism or heritage amenity, and to create new formal public rights-of-way as appropriate, and as required as part of emerging and developing tourism, regeneration and amenity initiatives.
14-3	To restrict new development where an existing or proposed public rights-of-way will be affected unless the level of amenity loss is minimised by: a) Diversion of the route by the minimal practical distance, b) The character of the route is not materially affected, c) Appropriate legal procedures have been undertaken to extinguish any existing right-of-way and to establish a new right-of-way to replace it.

Table 2: Extract Planning Policy for Green and Blue Infrastructure (Tipperary County Development Plan 2022)

Environmental and Natural Assets

The NPF and the RSES aim to protect and value our important and vulnerable habitats, landscapes, natural heritage and green spaces. They highlight the importance of the interrelationships between biodiversity, natural heritage, landscape and our green spaces. The NPF states that integrated planning for green infrastructure, and the natural services that our environment provides is to be incorporated into the preparation of statutory land use plans. It also refers to the importance of biodiversity, and how the planning system can respond to challenges such as climate change, and ensure that development has regard to the requirements of relevant environmental legislation. The Tipperary Heritage Plan 2017 – 2021 (Tipperary County Council, 2017) seeks to support heritage in all its forms. In accordance with the Heritage Act of 1995, heritage is defined as monuments, archaeological objects, heritage objects, architectural heritage, flora, fauna, wildlife habitats, landscapes, seascapes, wrecks, geology, heritage gardens and parks and inland waterways.

This Plan, through its supporting Environmental Reports (SEA Environmental Report, Natura Impact Statement and Strategic Flood Risk Assessment) as set out in Volume 5, focuses on the way that the natural environment works as a system. Environmental protection is a core objective, and the Council will seek, at all times, to integrate sustainable economic and social development with the protection and enhancement of our natural environment, and the natural services on which we depend.

Planning Policy as pre County Development Plan

It is the policy of the Council to:

11-2	Ensure the protection, integrity and conservation of European Sites and Annex I and II species listed in EU Directives. Where it is determined that a development may individually, or cumulatively, impact on the integrity of European sites, the Council will require planning applications to be accompanied by a NIS in accordance with the Habitats Directive and transposing Regulations, 'Appropriate Assessment of Plans and Projects, Guidelines for Planning Authorities', (DEHLG 2009) or any amendment thereof and relevant Environmental Protection Agency (EPA) and European Commission guidance documents.
11-3	Ensure the conservation and protection of existing, and proposed NHAs, and to ensure that proposed developments within or in close proximity to an existing or proposed NHA would not have a significant adverse impact on the status of the site as described.
11-4	(a) Conserve, protect and enhance areas of local biodiversity value, habitats, ecosystems and ecological corridors, in both urban and rural areas, including

	rivers, lakes, streams and ponds, peatland and other wetland habitats, woodlands, hedgerows, tree lines, veteran trees, natural and semi-natural grasslands in accordance with the objectives of the National Biodiversity Plan (DCHG 2017) and any review thereof. (b) Safeguard, enhance and protect water bodies (rivers/canals/lakes) and river walks and to provide links, where possible, to wider green infrastructure networks as an essential part of the design process. (c) Require an 'Ecosystems Services' approach for new development to incorporate nature-based solutions to SUDS, in so far as practical, as part of water management systems, public realm design and landscaping, in line with best practice. (d) Where trees or hedgerows are of particular local value, the Council may seek their retention, or where retention is not feasible, their replacement and will seek a proactive focus on new tree-planting as part of new development.
11-17	Ensure the protection of the visual amenity, landscape quality and character of designated 'Primary' and 'Secondary' amenity areas. Developments which would have a significant adverse material impact on the visual amenities of the area will not be supported. New development shall have regard to the following: a) Developments should avoid visually prominent locations and be designed to use existing topography to minimise adverse visual impact on the character of primary and secondary amenity areas. b) Buildings and structures shall integrate with the landscape through careful use of scale, form and finishes. c) Existing landscape features, including trees, hedgerows and distinctive boundary treatment shall be protected and integrated into the design proposal.
11-18	Ensure that new development does not result in significant noise disturbance and to ensure that all new developments are designed and constructed to minimise noise disturbance in accordance with the provisions of the Noise Action Plan 2018 and relevant standards and guidance that refer to noise management.
11-19	Ensure that new development does not result in significant disturbance as a result of light pollution and to ensure that all new developments are designed and constructed to minimise the impact of light pollution on the visual, environmental and residential amenities of surrounding areas

Table 3: Table 1: Extract Planning Policy for Environmental and Natural Assets (Tipperary County Development Plan 2022)

Tipperary LCA

Tipperary LCA 12 - RIVER SHANNON - NEWPORT LCA

The County Development Plan and Town Plans/Local Area Plans (and any review thereof), set out the statutory basis and the planning policy and objectives for the protection of the landscape of the county. This LCA is a technical support document for the planning framework and will give guidance to planning decision making and also the preparation and review of plans and strategies in the future. The LCA should be read in conjunction with the Development Plan framework for the county.

LCA 12: RIVER SHANNON - NEWPORT LCA

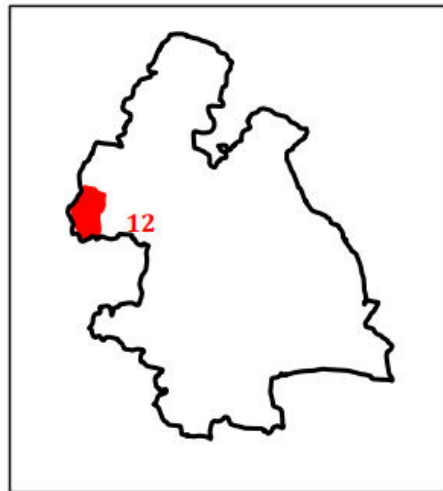


Figure 13: Extract Tipperary LCA Appendix 3 County Development Plan

4.0 Architecture

4.1 The Existing Path Upgrade

The concept for the forest walk is rooted in the idea of minimal intervention. The goal is to preserve the natural integrity of the site while gently guiding visitors through its beauty. The proposed upgrade is to increase the width of the path to 1.8m and upgrade the underfoot surface to a loose stone path. The design strives to create a tranquil, immersive environment where every step leads to new discoveries, from towering trees to hidden clearings, vibrant plant life, and the sounds of wildlife.

Key design elements include:

Health and Safety: upgraded pathways allow for safe use of the path while keeping the ethos of the secluded woodland area.

Organic Pathways: Curved, meandering paths that follow the natural contours of the land.

Resting Areas: Strategically placed benches and seating areas to encourage moments of reflection, allowing visitors to pause and take in the surroundings thus slowing foot traffic.

Bridges and Viewing Platforms: Elevated platforms and wooden bridges to traverse areas with delicate ecosystems, offering elevated views of the forest and forest floor below.

Limit Nature Impact: the path works have been greatly decreased in scale with the greater of the works occurring outside of the Forest area in the formation of the Emergency set down / staging area.

4.1.1 Site Analysis

The site is situated within a wooded area, surrounded by mature trees, varied terrain, and local wildlife. The design must be sensitive to this ecosystem, ensuring minimal disruption to both plant life and animal habitats. Existing pathways and trails will be assessed for usability, and any intervention will be done with the utmost care to maintain the forest's natural rhythm.

Topography: The forest's varied elevation presents opportunities for stunning vistas and elevated platforms to view the gorge in its entirety.

Biodiversity: The forest is home to a rich variety of flora and fauna that should be preserved. Pathways will be carefully positioned to avoid disturbing sensitive areas.

Climate: The weather in this area may vary; thus, the design will incorporate weather-resistant materials and sheltered resting areas for comfort during rainy or hot conditions.

4.1.2 Design Development

The layout of the forest walk has been designed to flow naturally with the contours of the landscape. Pathways are designed to be simple yet effective, following curves to ensure a smooth, gentle transition through the forest.

Materials and Finishes: Materials used will be sustainable and blend seamlessly with the environment. Weathered wood, steel, and gravel are the primary materials, chosen for their durability and natural aesthetic. Benches and structures will be crafted from local materials to integrate with the site's character.

Accessibility: Efforts have been made to ensure that the walk is accessible to all visitors, where possible, but to ensure the current integrity the path upgrade has been limited to loose stone to improve the ground underfoot without adversely affecting the current status. The proposed works have been limited to creating a safe path for walkers reducing risk and ensuring the emergency services can access the trail in its entirety. Rest areas and viewpoints will be strategically placed to ensure equal access to all.

4.1.3 Sustainability and Environmental Considerations

The forest walk aims to have a low environmental impact. Measures will be taken to:

- Preserve existing vegetation and habitats.
- Use sustainable, eco-friendly materials (such as locally sourced wood and recycled stone).
- Implement water management systems, such as rainwater collection, to ensure the integrity of the landscape is maintained.

4.1.4 Compliance and Standards

The design complies with all relevant environmental, safety, and accessibility standards. Local regulations regarding land preservation and conservation are fully adhered to. Specific attention will be paid to the regulations governing wildlife protection, ensuring that the forest's ecosystem remains intact and unharmed by human activity.

4.1.5 Conclusion

The scenic forest walk is envisioned as an opportunity for visitors to reconnect with nature and experience the forest in an intimate and personal way. The design has been crafted to respect the environment while offering a memorable, tranquil experience that celebrates the natural beauty of the forest. By blending seamlessly into the landscape and offering accessible pathways and resting areas, the forest walk will become a space of quiet reflection, nature appreciation, and well-being.

This statement emphasizes a balance between natural preservation and human interaction with the landscape, offering a serene, sustainable space that invites reflection and connection to the forest environment.

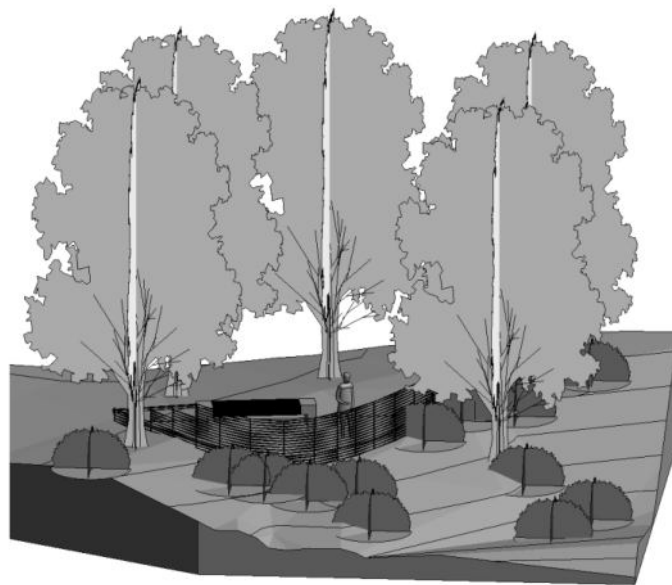
4.2 The Mid Viewing Platform

The proposed viewing platform will be an elevated structure designed to offer visitors an immersive and unobstructed panoramic view of the stunning wooded gorge and the river below. The platform will blend seamlessly with its natural surroundings, utilizing sustainable materials and design principles that complement the existing landscape.

The goal is to create a harmonious interaction between human visitors and the natural environment, ensuring the structure enhances the visitor experience without disturbing the delicate ecological balance of the site. The design will focus on safety, accessibility, and minimal environmental impact, while prioritizing aesthetic appeal and the integration of natural elements like wood, stone, and glass to reflect the beauty of the gorge and river.

4.2.1 Design Development

The platform is to be formed by the installation of a gabion basket to standardise the levels and the existing levels of the area normalised to create a natural imitation of a level area. The Key is to not over work the area to show a formalised structure. The Handrail has been designed as a woven steel handrail that will be allowed to patina before the installation. The reason for this, was to limit the intrusive view of finished construction materials. The aim is for the handrail to provide a robust safe fixture while limiting the impact on the nature around it. The patina colour of the steel will mimic that of the earthen embankment around it, limit the need for long term upkeep as the steel, once protected will have 100-year design life. The base fixing can be manufactured offsite in the form of a cast in rebar vertical post installed on site with minimum invasion in the form of hand dug holes infilled on site. Additionally, careful attention will be paid to ensure the structure does not obstruct the natural flow of water or the visual integrity of the landscape.



3D Mid Viewing Platform

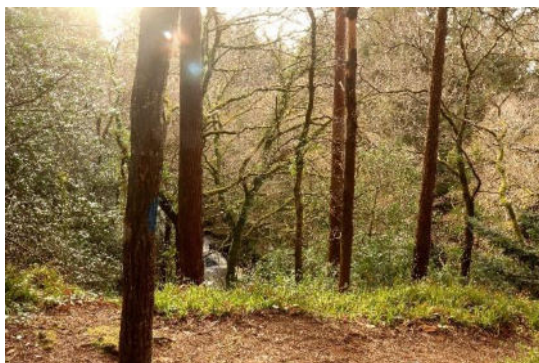


Figure 14: Viewing Platform 1 Location



Figure 15: Existing Tree to be Removed for Viewing Platform

4.2.2 Key design features include:

- Sustainable Materials: Steel will be used for its durability and natural aesthetics. Steel supports will be treated for longevity with minimal environmental impact.
- Offsite construction: to limit the impact of work on the site.
- Environmental Integration: The design will respect the existing flora and fauna of the area, with minimal clearing of trees and disturbance to the ground.
- Safety and Accessibility: The platform will include guardrails or glass barriers for safety while ensuring unobstructed views.

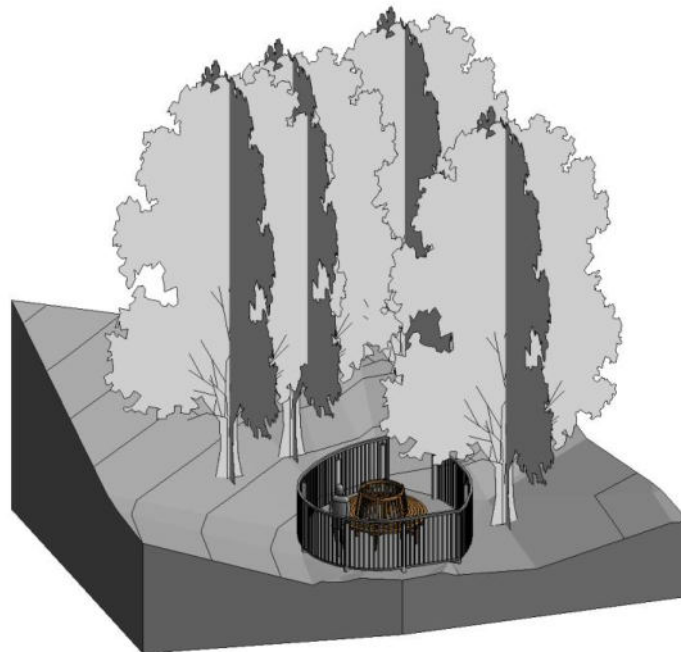
4.2.3 Conclusion

The overall aim is to provide a space where visitors can pause, reflect, and appreciate the natural beauty of the gorge, creating a lasting impression while preserving the ecological integrity of the site.

4.3 The Upper Viewing Platform

The proposed viewing platform will be strategically placed on a rock outcrop overlooking a the river gorge, offering visitors an immersive and awe-inspiring experience of the natural landscape panorama. The design prioritizes both aesthetics and functionality, blending seamlessly with the environment while providing an accessible and safe space for observation and reflection.

The design emphasizes sustainability, ensuring that the platform's construction has minimal environmental impact. Eco-friendly techniques will be employed to preserve the integrity of the rock outcrop, and all materials will be sourced locally, reducing transportation costs and ecological footprint.



Viewing Platform Isometric

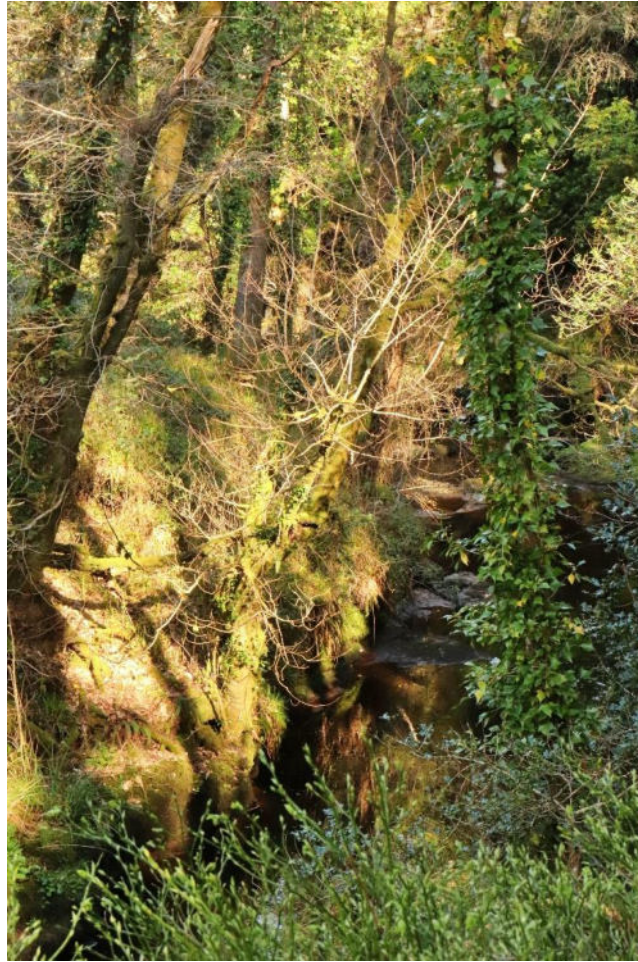


Figure 16: Upper Viewing Platform

4.3.1 Design Development

The platform will be constructed using materials formed off site such as weathered steel and wood, chosen for their durability and ability to harmonize with the rugged terrain. Its structure will appear minimalistic to reduce visual impact, while ensuring stability and safety. To enhance the connection between the platform and its surroundings, transparent or mesh railings will allow unobstructed views of the gorge and river below.

The proposed structure is to be mostly built offsite and installed in segments with limited work time and invasion of noise and manpower. The sections are to be brought to site as single segments attached to the rock head. The proposal has been designed to have a minimum assembly on site with only 18 no fixings back to the existing rock head.

Access to the platform will be facilitated by a series of carefully designed pathways, ensuring a safe and easy approach for all visitors. The path will wind gently through the landscape, encouraging a slow and mindful journey toward the viewing point, allowing visitors to engage with the natural beauty of the gorge. The chosen path is to also limit the impact on the existing nature without the need for felling trees or areas of dense vegetation, but a subtle formalisation of the existing path.

The platform will be oriented to provide the best vantage points of the river, cliffs, and surrounding wilderness, ensuring a memorable experience for visitors at all times of day.

4.3.2 Key design features include:

- **Sustainable Materials:** Steel will be used for its durability and natural aesthetics. Steel supports will be treated for longevity with minimal environmental impact.
- **Offsite construction:** to limit the impact of work on the site.
- **Design intent** has been designed to limit the works on site and utilise limited power tools to not disturb the natural environs.
- **Environmental Integration:** The design will respect the existing flora and fauna of the area, with minimal clearing of trees and disturbance to the ground.
- **Safety and Accessibility:** The platform will include guardrails for safety while ensuring unobstructed views..

4.2.3 Conclusion

This viewing platform will not only serve as a scenic overlook but as a place of quiet reflection, fostering a deeper appreciation for the natural world and creating a lasting connection between visitors and the landscape.

4.4 Concrete Bridge Update

This design proposal outlines the replacement of an existing concrete footbridge with an offsite manufactured steel bridge to improve structural integrity, reduce maintenance costs, and enhance the aesthetic appeal of the crossing.

4.4.1 Design Statement

The primary goal of this project is to replace the existing aging and deteriorating concrete footbridge with a new, durable, and more efficient steel bridge, manufactured offsite and installed with minimal disruption. The new structure aims to provide a safer, more reliable crossing while also improving sustainability and reducing long-term maintenance costs.

The new steel bridge will be fabricated offsite in a controlled factory environment, which ensures high-quality construction with precise tolerances. The bridge will be designed to handle expected pedestrian traffic loads, environmental conditions, and local regulations. The use of steel offers advantages such as high strength-to-weight ratio, durability, and the ability to span greater distances with less material compared to concrete.

The steel bridge will be designed to blend with the surrounding landscape, considering both functional and aesthetic aspects. The choice of finishes, colours, and design features will ensure that the bridge complements the local environment and enhances the user experience. The design will also ensure that the bridge is accessible, with features such as non-slip surfaces and adequate handrails to accommodate all users.

4.4.2 Key design features include:

- **Speed of Construction:** Offsite manufacturing allows for quicker assembly and installation on-site, reducing the time the bridge is out of service.
- **Precision and Quality Control:** Fabrication in a factory ensures better quality control, as all components are produced under controlled conditions, minimizing the chances of errors and defects.
- **Reduced Disruption:** As most of the work is carried out offsite, installation is faster, resulting in less disruption to the surrounding environment and users.
- **Environmental Impact:** The new steel bridge will have a lower environmental impact over its lifespan compared to concrete. Steel's durability and recyclability make it a more sustainable choice. Additionally, the reduction in construction time and disturbance to the surrounding area minimizes the overall environmental footprint of the project.

- Long-term Maintenance: The steel structure will require less maintenance than the existing concrete bridge due to its resistance to cracking and other deterioration typical of concrete. The offsite manufacturing process also ensures that the steel components are fabricated to high standards, reducing the likelihood of long-term issues.

4.2.3 Conclusion

Replacing the current concrete footbridge with an offsite manufactured steel bridge will significantly enhance the safety, longevity, and aesthetic quality of the crossing. By leveraging the advantages of offsite construction, the project ensures minimal disruption, reduced environmental impact, and a higher quality, more sustainable bridge for years to come.

5.0 Structure

The following works have been designed in accordance with

DESIGN CODES		
Eurocode 0	IS EN1990 + NA – Basis of structural design	
Eurocode 1	IS EN1991 + NA – Actions on structures	
Eurocode 2	IS EN1992 + NA – Design of concrete structures	
Eurocode 3	IS EN1993 + NA – Design of steel structures	
NSSS	National Structural Steel Specification 5th edition	
Building Regulations	Building Regulations	Technical Guidance Documents A through K

5.1 Access Route

The width of the path has been reduced from the original scope of 2 metres to the absolute minimum requirement 1.8 metres. The proposed works required only the minimalist grading of the path with the proposed fill of split layers of 60mm of clause 804 to stabilise the path and a capping layer of 50mm of Blinding stone to ensure stability underfoot.

The design has been carried out at this stage based on a visual inspection of the path and in person testing of the trail conditions.

Where the path is adjacent to the river and possible wash out of the path is expected, localised retaining butts are to be installed in the form of timber logs from the Clare Glens forestry to be horizontally beside the path to create a retaining structure and the logs secured with timber posts. A geo grid will be required here locally to further stabilise the path. This is only envisaged at the immediate entrance within 100m of the trail head.

The above construction has been chosen due to its robust nature and will limit the ongoing requirement for maintenance for the life span of the works.

5.2 Bridge

The bridge has been designed with an offsite construction mentality to limit the works within the glens. Limited concrete, which can be controlled in the form of levelling grout will be required to the head off the existing abutment which are to remain in place. These appear visually good condition and require only localised repair. The bridge has been designed for an imposed loading of 10kN/m².

The bridge is to be constructed of 2 Universal Columns spanning over the gorge on the existing abutments. Handrail and Deck beams are to be bolted to the frame. Timber deck is to be installed along with the handrail. Levels of the path either side of the bridge are to be reworked to suit the approach to the bridge deck levels.

The proposed materials are robust and will require limited maintenance through out the design life . the steel is to be galvanised or powder coated to a Ral colour of the clients requirements and the bridge timber deck is to be pressurised tanalised timber with an anti slip coating.

The proposed is to be manufactured off site and brought to site in its components to limit the requirement for heavy machines accessing the location.

- Bridge beams (2)
- Deck / Handrail unit (10)
- Timber Deck (22 (4.8m lengths of 38x225 Treated timber)
- Handrail Cap 2
- Steel cable 200 linear meters

Connections between element are to be bolted which can be fixed together on site. The installation duration of the bridge is forecasted to take 2 days within the Glens area.

5.3 Viewing Mid Platform

The mid viewing platform is to be formed of a levelled earthen viewing platform, the proposed area requires very little structural requirement due to the levels forming a natural platform.

Minor retention is required in a localised area and it is envisaged that a gabion basket .5x.5m can be constructed out width from the path from the stones reclaimed at the entrance works and man overed into site locally.

The earth is to be graded. And the formation of a handrail to the edge in the from of a woven steel handrail which is to mimic that of a wattle fence. Steel was chosen for its longevity and robustness requiring little to no maintenance. The finish for the steel is a patina finish which sealed which will limit the visual impact of the handrail thus fitting more into the natural colour scheme.

The forecasted construction time within the Glens on site for the handrail and viewing platform is 2 days

5,4 Viewing End Platform

The "Outcrop" viewing platform has been designed with a limited impact on the natura and ecology o the area. The Sections are to be manufactured offsite and installed in singular components. The deck support and the handrail have been designed as a cantilever sections with the fixings in the heart of the rock head away from the cracked edge of the formation. The fixings once installed limit the further requirement for separate fixings as the units I a combined structural item supporting the deck and the hand rail.

Localised grout will be required to level the platform but this is locally controlled at the fining points only which is envisaged to 18 no rock drilled anchor fixings.

The handrail is to be installed in sections bolted to preinstalled steel uprights. the deck is to be installed in sections and fixed to pre holed locations.

And offsite mentality has also been applied to this area to limit the works required in the area.

6.0 Transport

The provision for the safety of the existing and future users is an important consideration in the design and this has been considered in detail during the proposed planning phase. This section aims to outline how key road safety issues and how these have been addressed.

Access

Access to the current trail head requires pedestrians to currently walk on the local road in a limited area of forward visibility due the nature of the Bridge and immediately following inclined acute bend.

The access route transports users along an embanked footpath to the opposite side of Clare Glens from the car park. The walk way accesses onto the local road at the outer apex of the acute bend above the horizontal sight distance of oncoming traffic on the bridge, users must then walk along the road way and transverse the carriageway to access the trail head through an old single file turnstile or openable gate.

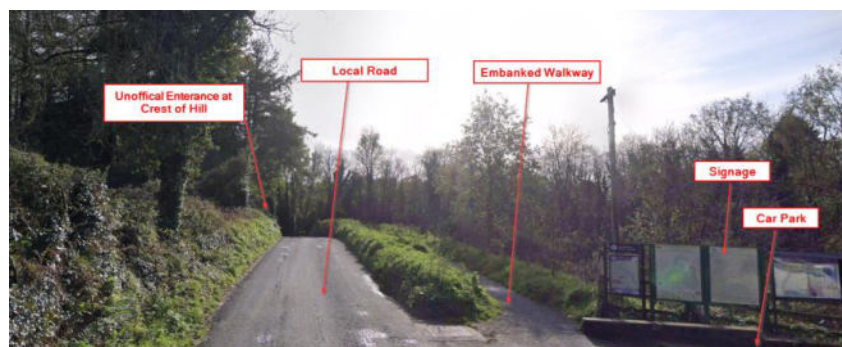


Figure 17: View on Road From Parking Area



Figure 18: View on Road from Embanked Egress to Bridge



Figure 19: View on Entrance from Protected Bridge

Emergency response vehicle are required to park in a designated space in the car park and access the route in the same fashion as trail users, the current space has limited space for a single ambulance and response vehicle. Due to the moderate nature of the trail, it would be envisaged that the response vehicle in question would require multiple vehicles involving multiple units of both the mountain rescue, Garda and ambulance services. This has encouraged the creation of a designated staging point within the area that can be locally isolated in the event of user falling into difficulty on the trail.

Localised upper formed entrance at the top of the acute bend has been utilised by users to access the Clare Glens, required the full access route to be on the Local road way egressing at the apex of the Hill and end of the bend from a dropped height of approximately 1m.

Issues noted on site.

- Extent of users walking on the local road
- The crossing point
- The que's formed through the single file turnstile
- The lack of visibility due to the acute bends and also the verticality of the hill.
- Speed of local traffic.

6.1 The Proposed

The proposed solution is for the construction of a new pedestrian/ emergency access from the road way closer to the Car Park in the area of greatest Forward Visibility. The selected site was also chosen to limit the impact on the Clare Glens walk and limit any works to a non intrusive localised formation of pedestrian pathways.

The proposed access route has been designed for the users foot traffic and an emergency response vehicle and essential maintenance to service the Clare Glens Amenity.

The proposed allows for pedestrians to access the route off the public roadway removing any risk to the pedestrians apart from the crossing of the road way from car park to the site. The risk has been greatly reduced by the position of the opening in the area of maximum forward visibility for oncoming traffic.

The proposed access route forms part of the emergency response staging area access point. This staging area is a designated staging area allowing for the formation of single point allowing emergency response to assemble and access the trail in an isolated area closer to the trail head. The Staging area encompasses an area of land adjacent to the Amenity space and does not affect the Natura of area.

The proposed access route is via a locked gate and single access route adjacent to the local road network. The proposed access gate has been designed for infrequent use specifically for that for emergency responders and localised infrequent maintenance. The entrance has been designed for a setback "X" of 2m as per Table 6.1 and a sightline to the road edge "Y" of 70m for a mandatory speed limit of 60km/h as noted in table 6.2 of Tipperary County Development Plan 2022 to 2028, Appendix 6, Development Management Standards.

6.2 Conclusion

The proposed solution removes the users from the local roadway at the acute bends and crest of hill access the Clare Glens trail Head. The new proposed pedestrian entrance allows for a speedier access off the Local Roadway. The crossing point has been relocated to the position of maximum forward / stopping visibility.

The new access route to the Emergency staging area allows for Emergency responders to access the trail head closer and form an isolated area while attending the trail.

Client Clare Glens River Walk Enhancement Plan

Date 28/02/2025

Ref: 25.0102

WILL MC GARRY & ASSOCIATES
ENGINEERS
15 MARY STREET CLONMEL

PHONE: 052 6181828 MOBILE: 086 2737455 EMAIL: INFO@WMAA.IE

7.0 Drainage Systems.

7.1 Storm Water Management

The proposed surface water management solution to prevent run off of storm water accessing the public roadway is the via an Aco Drain Slot drain across the entrance to the gully, which links to the existing storm water system on the other side for the road.

The area of non-permeable hardstanding is limited to the entrance Dwell area, it is envisaged that the permeable nature of the hardstanding to the upper access way and the formation of soak off areas will naturally dispel the surface water formed on the hardstanding.

7.2 Foul Drainage

No requirement for foul drainage is envisaged for these works.

7.3 Potable Water

No requirement for foul drainage is envisaged for these works.

Client Clare Glens River Walk Enhancement Plan

Date 28/02/2025

Ref: 25.0102

WILL MC GARRY & ASSOCIATES
ENGINEERS
15 MARY STREET CLONMEL

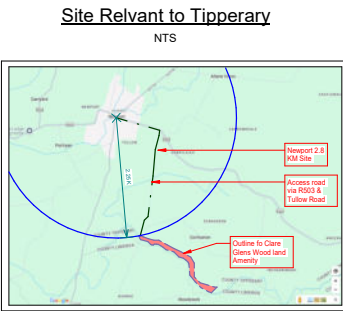
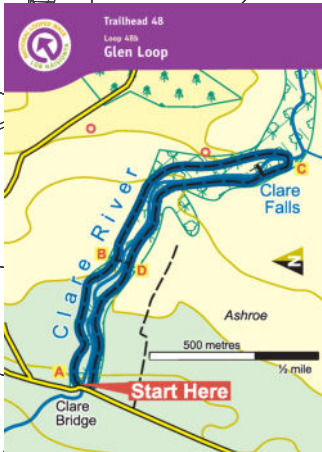
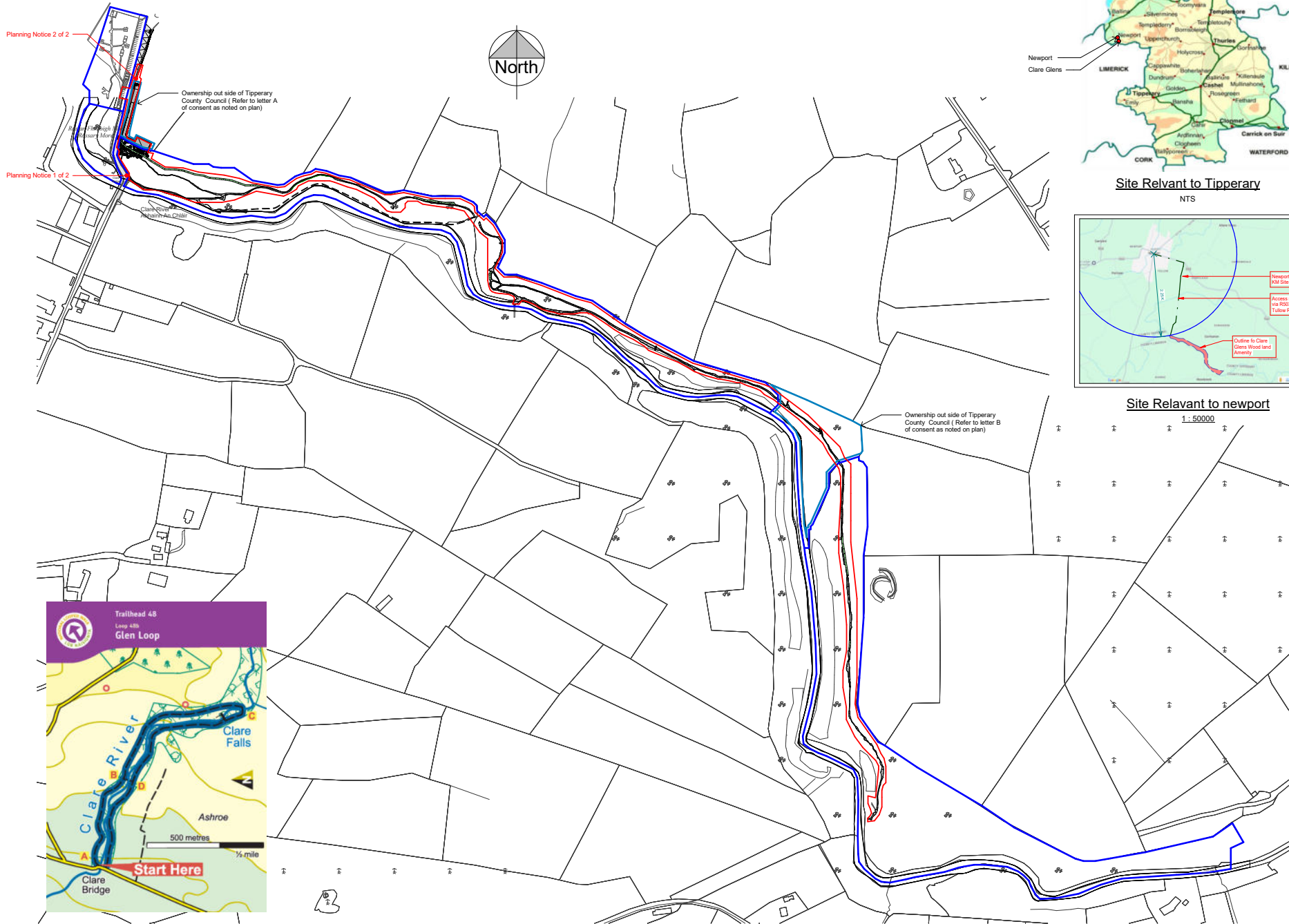
PHONE: 052 6181828

MOBILE: 086 2737455

EMAIL: INFO@WMAA.IE

6.0 Appendices

Appendix A – Drawing Package



Rev.	Description	Date	By	To
1	Issued for Review	25/04/25	ZG	WmG
2	Issued for Planning	14/05/25	ZG	WmG

NOTES:

1. ALL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH ARCHITECT'S PLANS AND SPECIFICATION AND ALL RELEVANT DOCUMENTATION RELATED TO THE CURRENT PROJECT.
2. ALL RESPONSIBILITY FOR THE DELIVERABLES LIES WITH CLIENT AND RELEVANT APPOINTED PARTIES.
3. DO NOT SCALE FROM DRAWINGS.
4. ALL DIMENSIONS IN S.I. UNITS UNO.

PROPOSED WORKS

The proposed works is the upgrade of the existing walking path to Clare Glens Amenity space including but not limited to: Upgrade of an existing foot bridge, installation of viewing platforms, drainage remediation where required and the creation of a new entrance for maintenance with creation of a set down area, new access path, and associated site works.

SITE AREA	
Total Ownership Area =	123619 m ²
Ownership out side of Tip. Co. CO =	
Maintenance Area =	886,436 m ²
Bridge Area =	1411,712 m ²
Upper Trail =	1008,489 m ²
Combined Area of Site =	136,329.81 m ²
Redline Boundary Area =	3582m ²

SITE WORKS

The proposed development will only impact on surface water outflow the site boundary at the proposed entrance, where a drain and filter trench have been employed to treat any surface water run off from entrance upon.

The existing hardstanding area does not increase as a result of the proposed development so there will be no additional impact to the surface water system within the site boundary.

Site access for construction is proposed via the newly created entrance. No loss or effect on the existing amenity space or protected boundary wall and bridge.

No major works is proposed outside the extent of the site construction traffic is limited to temporary set down within the public roads and material delivered, parking of construction vehicles and welfare facility are to be within the boundary of the proposed works during normal operating business hours.

The new maintenance area is to be used for the storage of material in the form of an enclosed compound with appropriate signage.

DRAWING LEGEND

- Total Ownership Boundary
- Outline of Proposed Works
- Ownership out side of Tipperary County Council (Refer to letter A of consent as noted on plan)
- Ownership out side of Tipperary County Council (Refer to letter B of consent as noted on plan)

Irish Grid Reference R 72998, 60001.

Comhairle Contae Thiebraid Árann
Tipperary County Council

WILL MC GARRY & ASSOCIATES
ENGINEERS
15 MARY STREET CONNELL
PHONE: 051 481623 MOBILE: 086 2774051 EMAIL: INFO@WMAE.IE

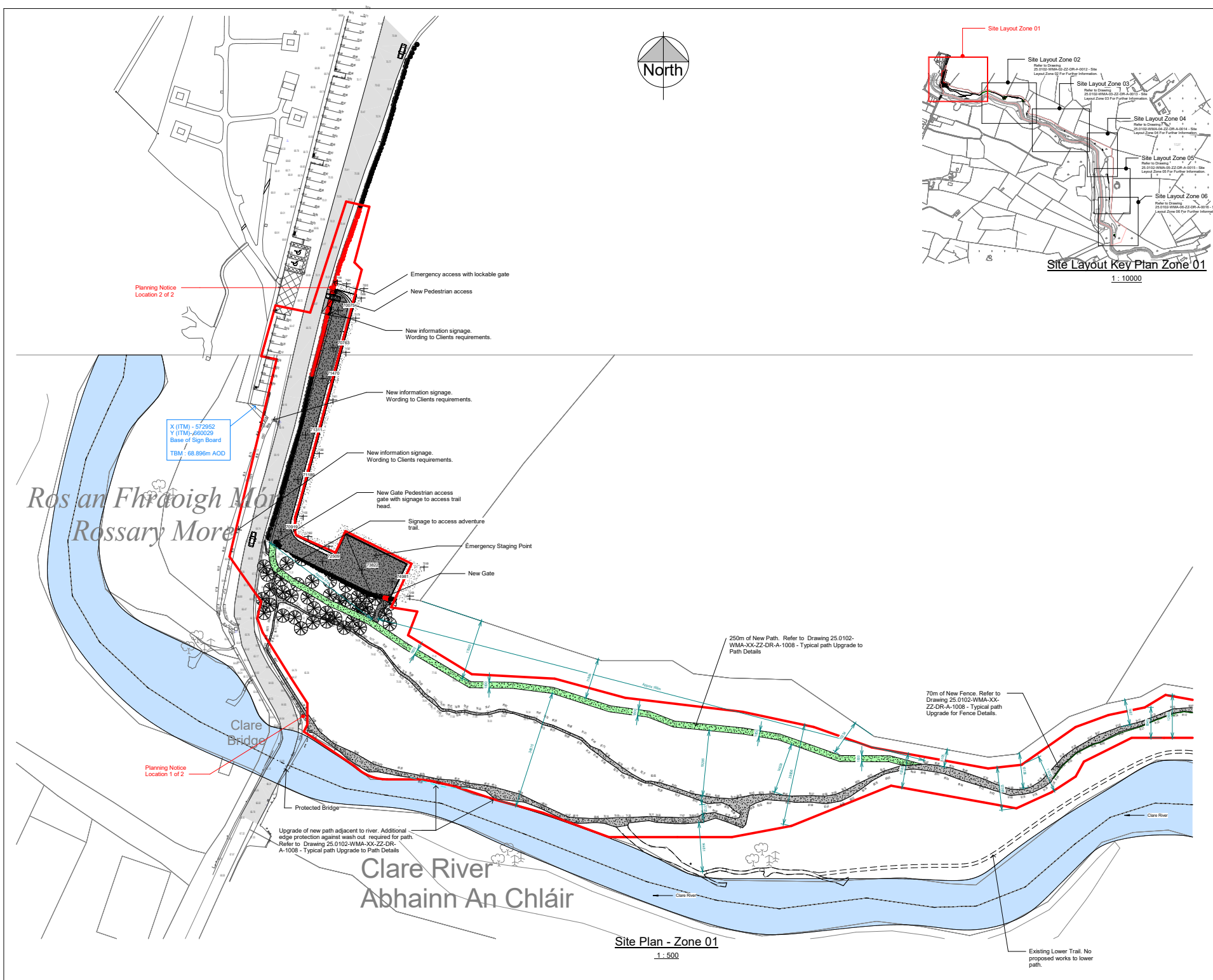
Planning	REV: 2
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Tipperary County Council

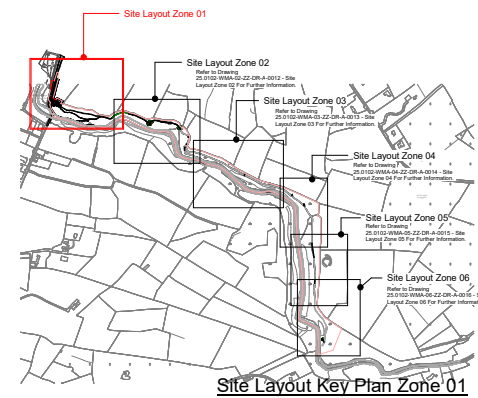
Clare Glens River Walk

Site Location Map

Project number:	25.0102
Date:	12/02/25
Drawn by:	ZG
Checked by:	WmG
Scale @ A1:	As indicated
Sheet No:	25.0102- WMA- ZZ- ZZ- DR- A- 0010



Site Plan - Zone 01
1:500



Site Layout Key Plan Zone 01
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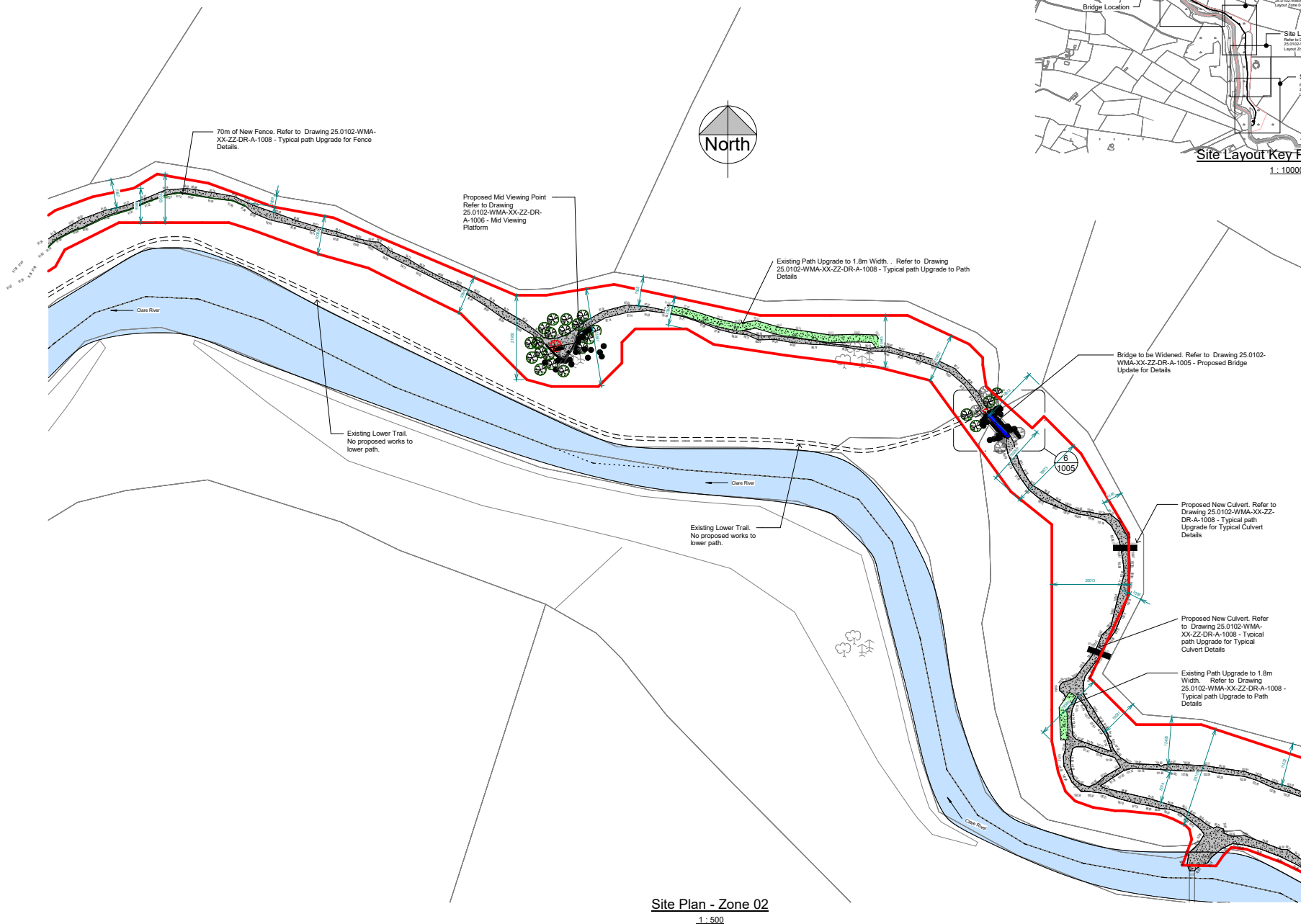
Rev.	Description	Date	By	To
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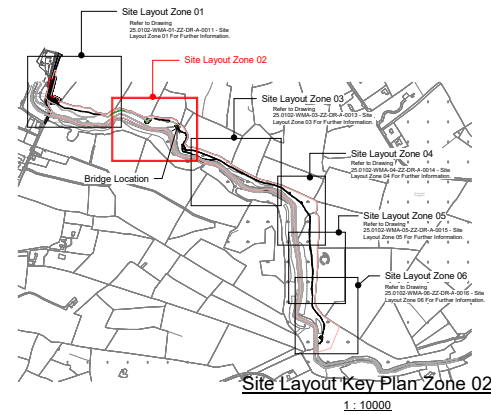
PROPOSED WORKS
The proposed works is the upgrade of the existing walking path to Clare Glens Adventure space including but not limited to: Upgrade of an existing footbridge, installation of seating platforms, drainage remediation where required and the creation of a new entrance for maintenance with creation of a wet down area, new access path and associated site works.

DRAWING LEGEND
Total Ownership Boundary
Ownership out side of Tipp Co. Co. (Refer to letters of consent as noted on plan)
Outline of Proposed Works
Existing Path to be Upgraded
Proposed Path Upgrade to 1.8m Width
Proposed New Culvert
Proposed Post and Rail Fence

Comhairle Contae Thiobraid Árann
Tipperary County Council
WILL MC GARRY & ASSOCIATES
ENGINEERS
15 MARY STREET CLONMEL
PHONE: 051 431623 MOBILE: 086 2774051 EMAIL: INFO@WMAH.ie
Planning REV: 2
Tipperary County Council
Clare Glens River Walk
Site Layout Zone 01
Project number: 25.0102
Date: 12/02/25
Drawn by: ZG
Checked by: WmG
Scale @ A1: As indicated
Sheet No: 25.0102-WMA-01-ZZ-DR-A-0011



Site Plan - Zone 02
1:500



Rev.	Description	Date	By	To
1	Issued for Review	25/04/25	ZG	WmG
2	Issued for Planning	14/05/25	ZG	WmG

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3. DO NOT SCALE FROM DRAWINGS.
4. ALL DIMENSIONS IN S.I. UNITS UNO.

PROPOSED WORKS
The proposed works is the upgrade of the existing walking path to Clare Glens Assembly space including but not limited to: Upgrade of an existing foot bridge, installation of viewing platform, drainage improvement where required and the creation of a new entrance for maintenance with creation of a wet down slope, new access path and associated site works.

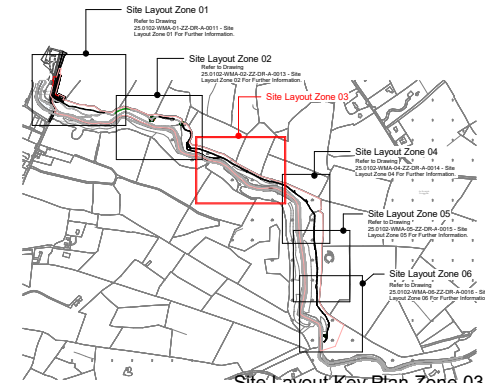
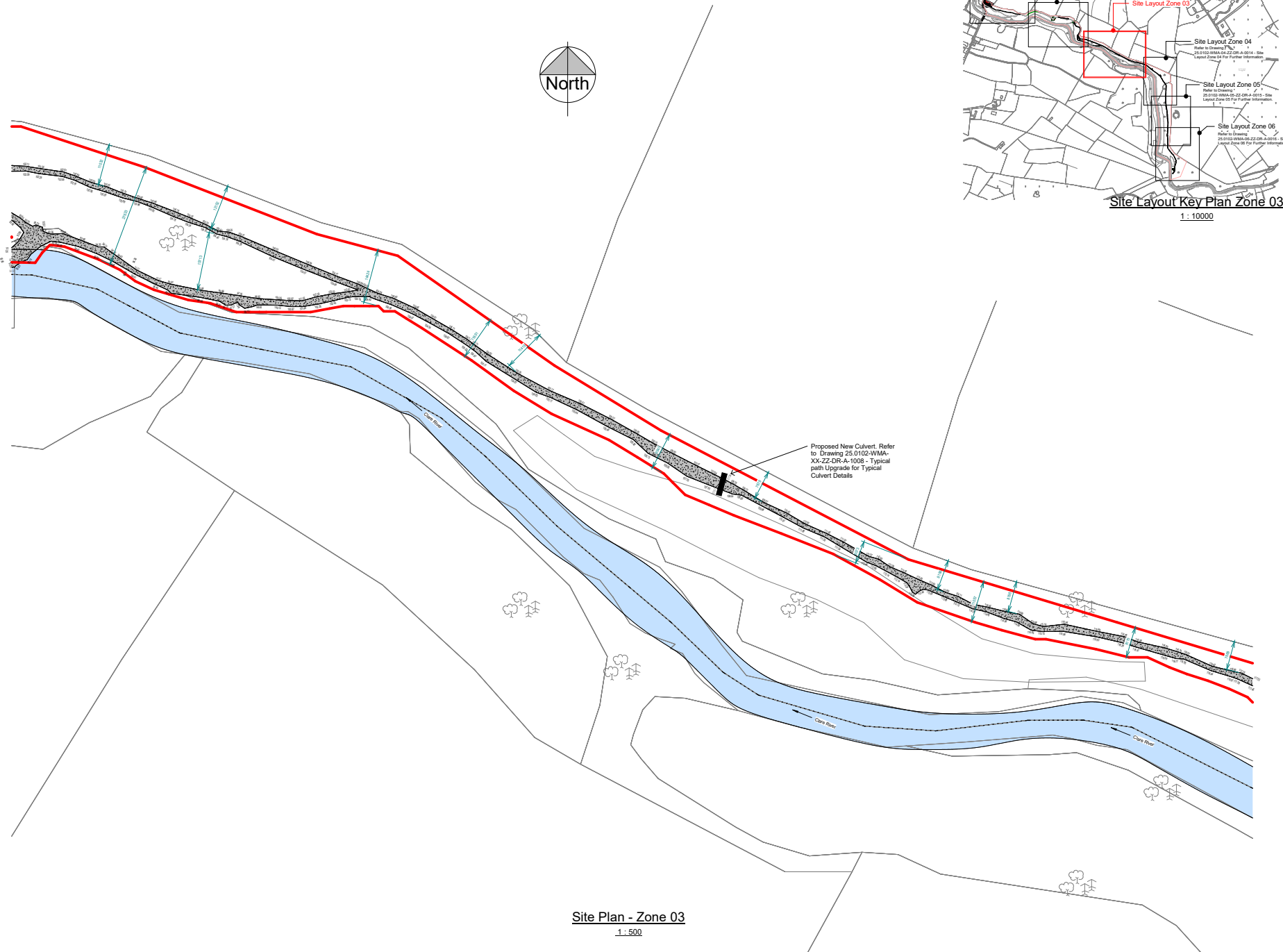
DRAWING LEGEND

- Total Ownership Boundary
- Ownership out side of Tipp Co. Co. (Refer to letters of consent as noted on plan)
- Outline of Proposed Works
- Existing Path to be Upgraded
- Proposed Path Upgrade to 1.8m Width
- Proposed New Culvert
- Proposed Post and Rail Fence

Comhairle Contae Thiobraid Árann
Tipperary County Council

WILL MC GARRY & ASSOCIATES
ENGINEERS
15 MARY STREET CLONMEL
PHONE: 051 431521 MOBILE: 086 277405 EMAIL: INFO@WMAH.E

Planning	REV: 2
Tipperary County Council	
Clare Glens River Walk	
Site Layout Zone 02	
Project number:	25.0102
Date:	12/02/25
Drawn by:	ZG
Checked by:	WmG
Scale @ A1:	As indicated
Sheet No:	25.0102- WMA- 02- ZZ- DR- A- 0012



Rev.	Description	Date	By	To
1	Issued for Review	25/04/25	ZG	WmG
2	Issued for Planning	14/05/25	ZG	WmG

- NOTES:**
1. ALL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH ARCHITECT'S PLANS AND SPECIFICATION AND ALL RELEVANT DOCUMENTATION RELATED TO THE CURRENT PROJECT.
 2. ALL RESPONSIBILITY FOR THE DELIVERABLES LIES WITH CLIENT AND RELEVANT APPOINTED PARTIES.
 3. DO NOT SCALE FROM DRAWINGS.
 4. ALL DIMENSIONS IN S.I. UNITS UNO.

PROPOSED WORKS
The proposed works is the upgrade of the existing walking path to Clare Glens. Severely open including but not limited to: Upgrade of an existing foot bridge, installation of viewing platforms, drainage remediation where required and the creation of a new entrance for maintenance with creation of a set down area, new access path and associated site works.

DRAWING LEGEND	
	Total Ownership Boundary
	Ownership out side of Tip Co. Co. I Refer to letters of consent as noted on plan)
	Outline of Proposed Works
	Existing Path to be Upgraded
	Proposed Path Upgrade to 1.8m Width
	Proposed New Culvert
	Proposed Post and Rail Fence

Comhairle Contae Thiobraid Árann
Tipperary County Council

WILL MC GARRY & ASSOCIATES
ENGINEERS
15 MARY STREET CLONMEL
PHONE: 051 431623 MOBILE: 086 277405 EMAIL: INFO@WMAH.EI

Planning	REV: 2
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Tipperary County Council

Clare Glens River Walk

Site Layout Zone 03

Project number: 25.0102

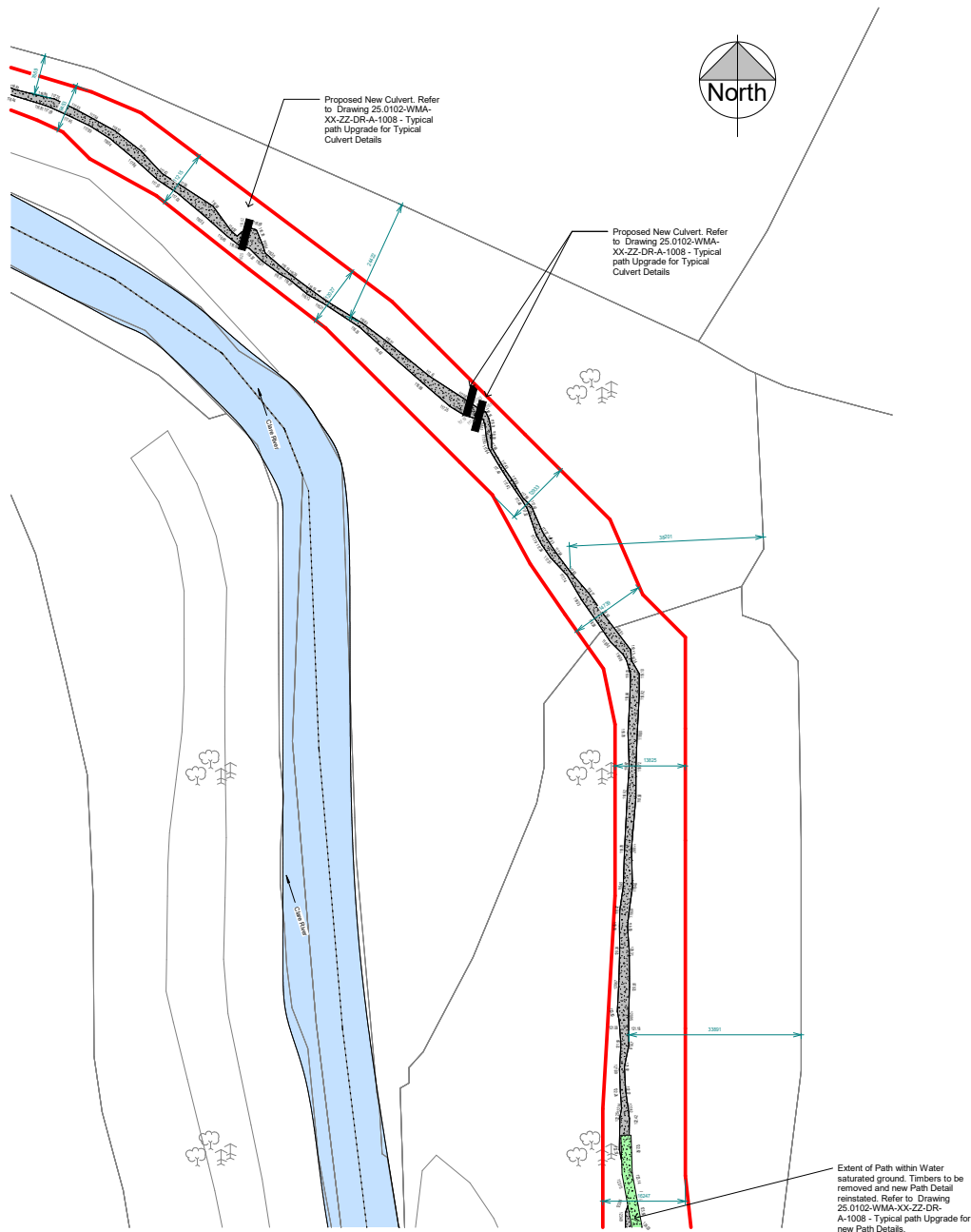
Date: 12/02/25

Drawn by: ZG

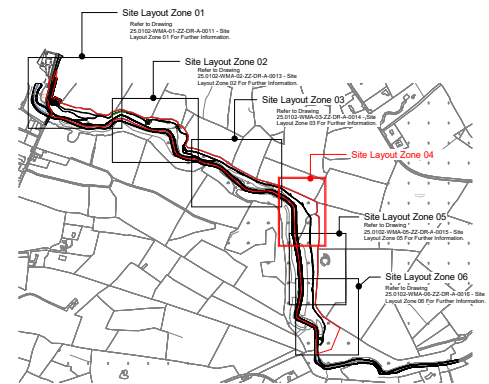
Checked by: WmG

Scale @ A1: As indicated

Sheet No: 25.0102- WMA- 03- ZZ- DR- A- 0013



Site Plan - Zone 04
1 : 500



Site Layout Key Plan Zone 04
1 : 10000

Rev.	Description	Date	By	To
1	Issued for Review	25/04/25	ZG	WmG
2	Issued for Planning	14/05/25	ZG	WmG

NOTES:

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3. DO NOT SCALE FROM DRAWINGS.
4. ALL DIMENSIONS IN S.I. UNITS UNO.

PROPOSED WORKS:

The proposed works is the upgrade of the existing walking path to Clare Glens riverbank. The works include but not limited to: Upgrade of an existing foot bridge, installation of seating, lighting, drainage, and other infrastructure. The works also include the creation of a new entrance for maintenance with creation of a set down area, new access path and associated site works.

DRAWING LEGEND:

	Total Ownership Boundary
	Ownership out side of Top Co. Co. (Refer to letters of consent as noted on plan)
	Outline of Proposed Works
	Existing Path to be Upgraded.
	Proposed Path Upgrade to 1.8m Width.
	Proposed New Culvert
	Proposed Post and Rail Fence



WILL MC GARRY & ASSOCIATES
ENGINEERS
15 MARY STREET CLONMEL

PHONE: 051 431521 MOBILE: 086 2770101 EMAIL: INFO@WMAH.E

Planning	REV: 2
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Tipperary County Council

Clare Glens River Walk

Site Layout Zone 04

Project number: 25.0102

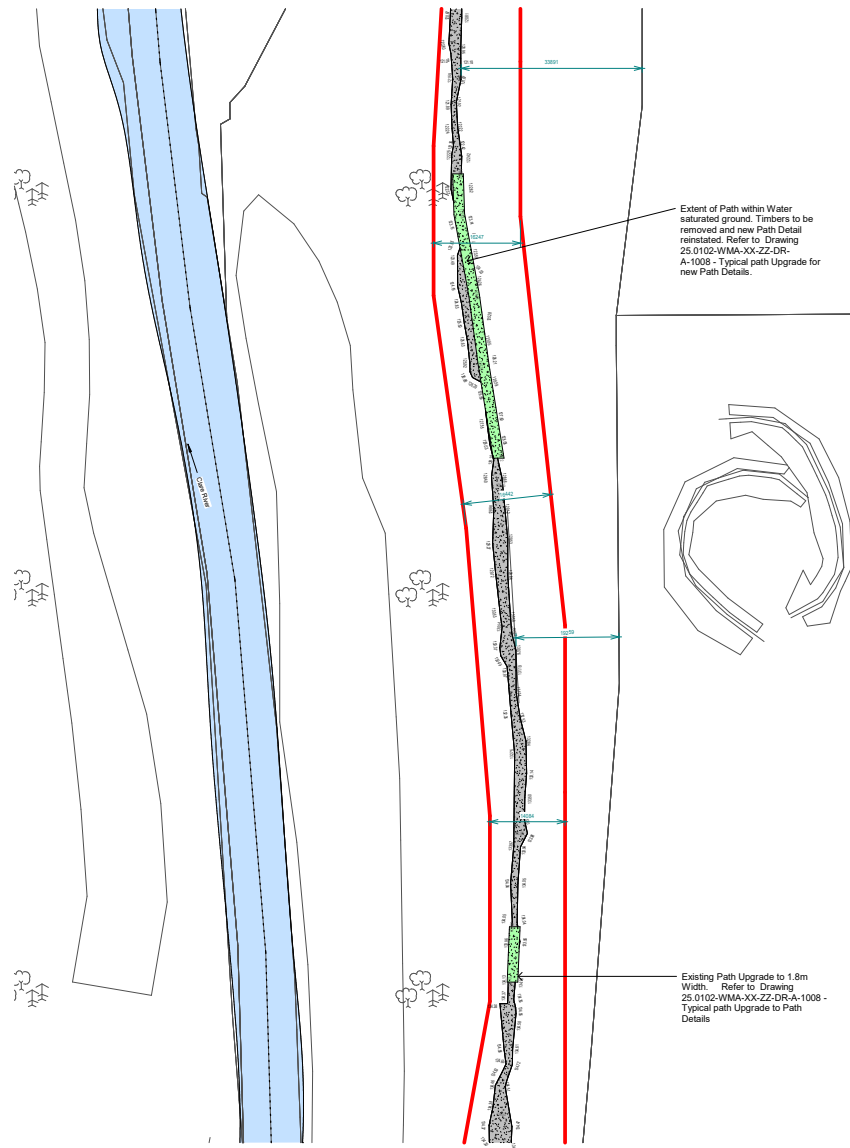
Date: 12/02/25

Drawn by: ZG

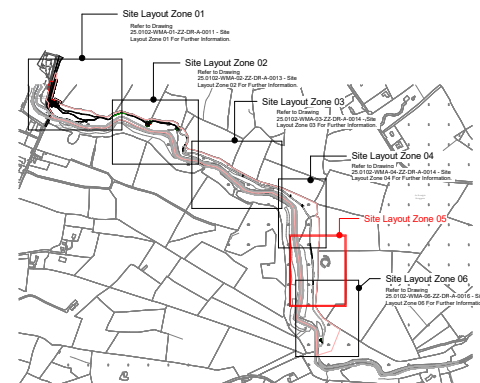
Checked by: WmG

Scale @ A1: As indicated

Sheet No: 25.0102-WMA-04-ZZ-DR-A-0014



Site Plan - Zone 05
1 : 500



Site Layout Key Plan Zone 05
1 : 10000

Rev.	Description	Date	By	To
1	Issued for Review	25/04/25	ZG	WmG
2	Issued for Planning	14/05/25	ZG	WmG

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4. ALL DIMENSIONS IN S.I. UNITS UNO.

PROPOSED WORKS

The proposed works is the upgrade of the existing walking path to Clare Glens Arann open space including but not limited to: Upgrade of an existing foot bridge, installation of viewing platforms, drainage remediation where required and the creation of a new entrance for maintenance with creation of a set down area, new access path and associated site works.

DRAWING LEGEND

- Total Ownership Boundary
- Ownership out side of TipCo. Co. (Refer to letters of consent as noted on plan)
- Outline of Proposed Works
- Existing Path to be Upgraded
- Proposed Path Upgrade to 1.8m Width
- Proposed New Culvert
- Proposed Post and Rail Fence



WILL MC GARRY & ASSOCIATES
ENGINEERS
15 MARY STREET CLONMEL

PHONE: 051 431521 MOBILE: 086 277405 EMAIL: INFO@WMAH.E

Planning	REV: 2
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Tipperary County Council

Clare Glens River Walk

Site Layout Zone 05

Project number: 25.0102

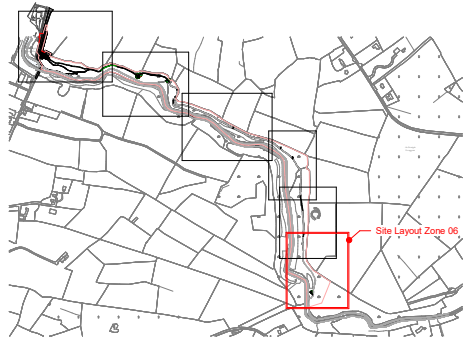
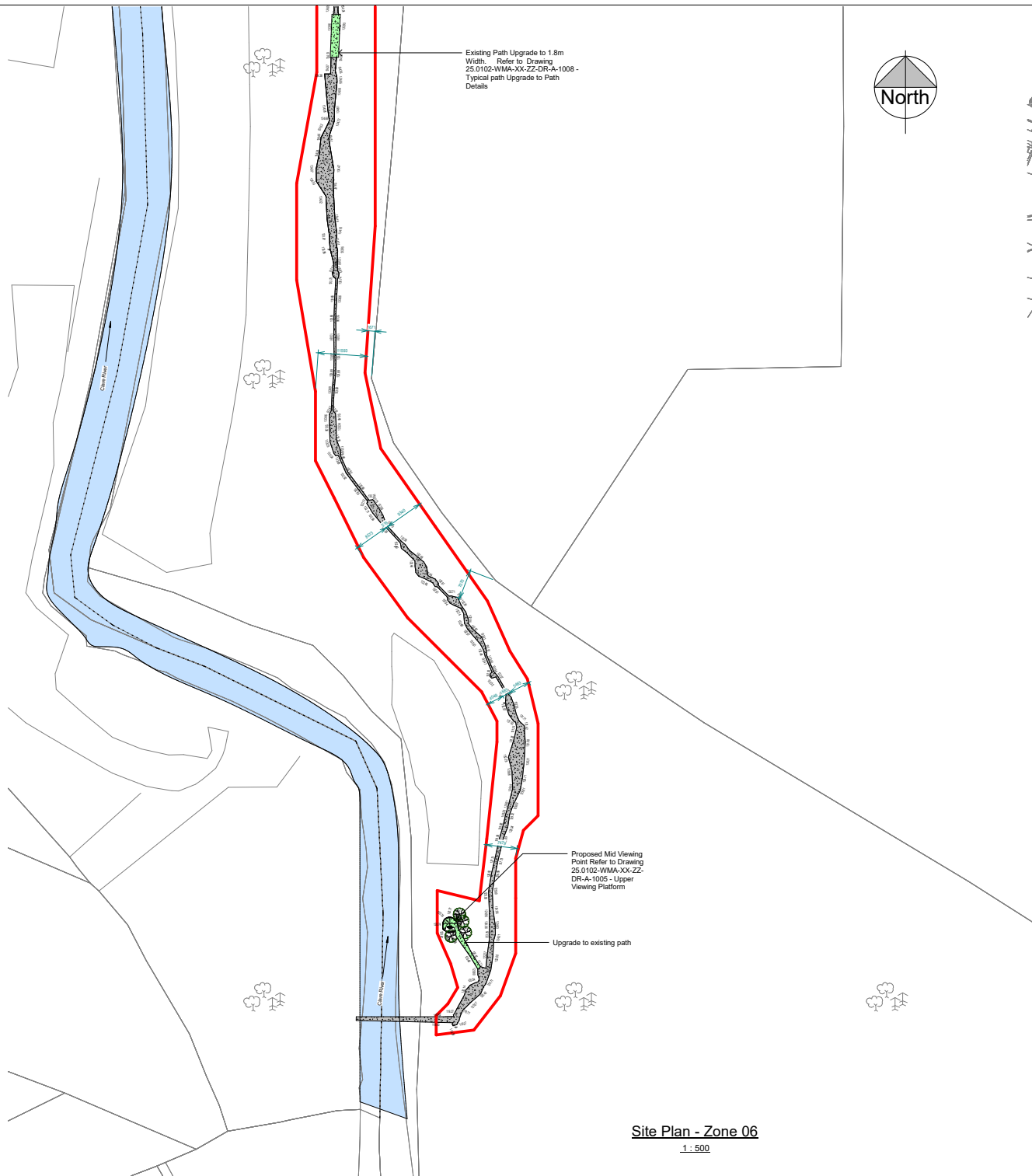
Date: 12/02/25

Drawn by: ZG

Checked by: WmG

Scale @ A1: As indicated

Sheet No: 25.0102- WMA- 05- ZZ- DR- A- 0015



Site Layout Key Plan Zone 06
1 : 10000

Site Plan - Zone 06
1 : 500

Rev.	Description	Date	By	To
1	Issued for Review	25/04/25	ZG	WmG
2	Issued for Planning	14/05/25	ZG	WmG

NOTES:

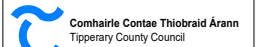
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PROPOSED WORKS

The proposed works is the upgrade of the existing walking path to Clare Glens Amenity space including but not limited to, Upgrade of an existing foot bridge, installation of viewing platforms, drainage remediation where required and the creation of a new entrance for maintenance with creation of a set down area, new access path and associated site works.

DRAWING LEGEND

- Total Ownership Boundary
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- Outline of Proposed Works
- Existing Path to be Upgraded.
- Proposed Path Upgrade to 1.8m Width.
- Proposed New Culvert
- Proposed Post and Rail Fence



WILL MC GARRY & ASSOCIATES
ENGINEERS
15 MARY STREET CLONMEL

PHONE: 051 4316123 MOBILE: 086 2774051 EMAIL: INFO@WMAH.EI

Planning	REV: 2
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Tipperary County Council

Clare Glens River Walk

Site Layout Zone 06

Project number: 25.0102

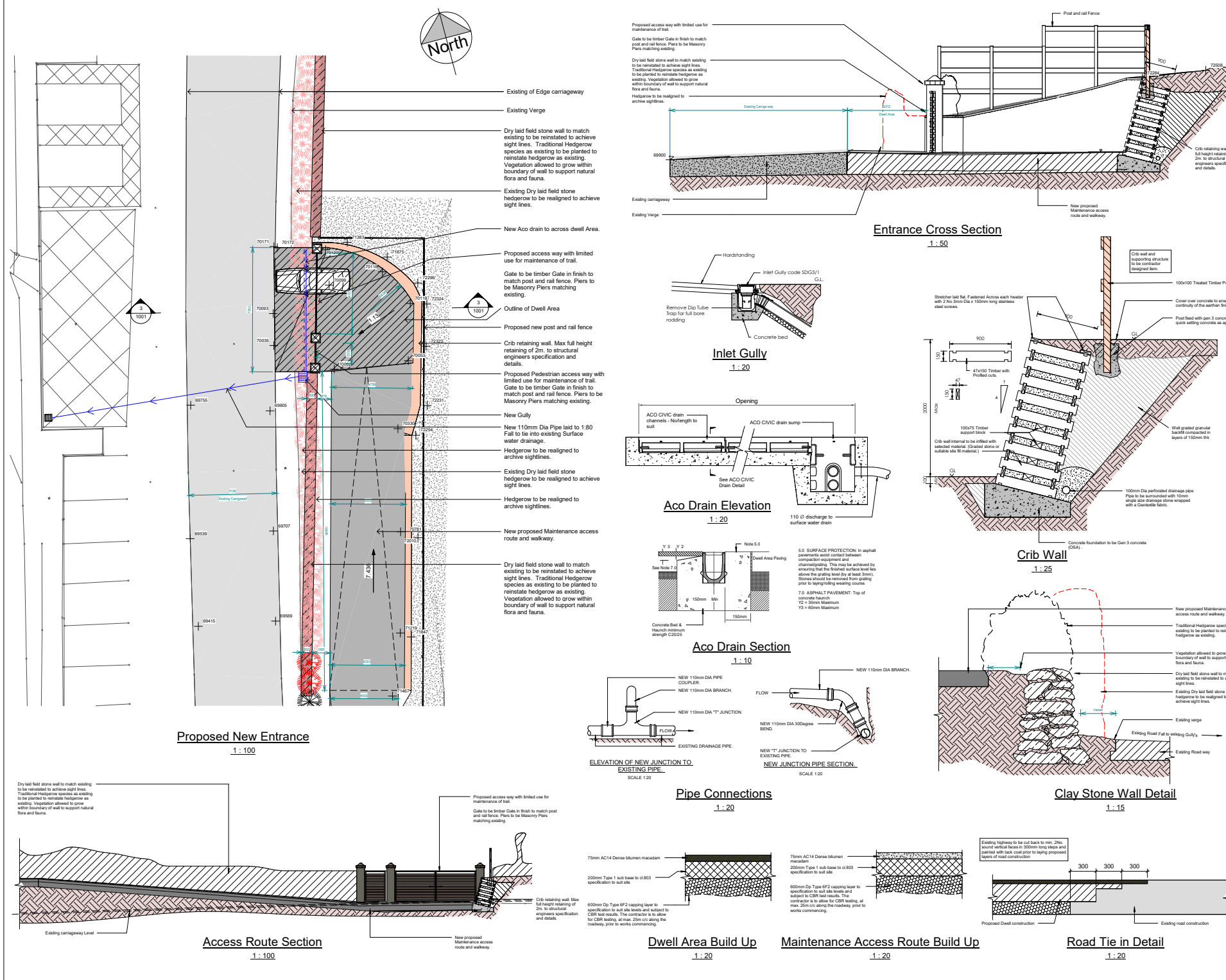
Date: 12/02/25

Drawn by: ZG

Checked by: WmG

Scale @ A1: As indicated

Sheet No: 25.0102- WMA- 06- ZZ- DR- A- 0016



Rev: 1
Description: Issued for Review
Date: 25/04/25
By: ZG
To: WmG

Rev: 2
Description: Issued for Planning
Date: 14/05/25
By: ZG
To: WmG

NOTES:

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4. ALL DIMENSIONS IN S.I. UNITS UNO.

LEGEND:

1. THIS DRAWING WAS PREPARED FOR PLANNING PERMISSION ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION.

2. PROPOSED SITE IS OUTLINED IN RED.

3. EXISTING LINES ARE SHOWN IN BLUE. DO NOT SCALE FROM DRAWING. USE SHOWN DIMENSION ONLY.

LEGEND:

- 1. DENOTES PROPOSED POST AND RAIL FENCE
- 2. DENOTES EXISTING MATURE HEDGEROW
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COMPANY:

WILL MC GARRY & ASSOCIATES
ENGINEERS
15 MARY STREET CLONMEL
Phone: 087 403231 Mobile: 087 270745 Email: info@wma.ie

CLIENT:

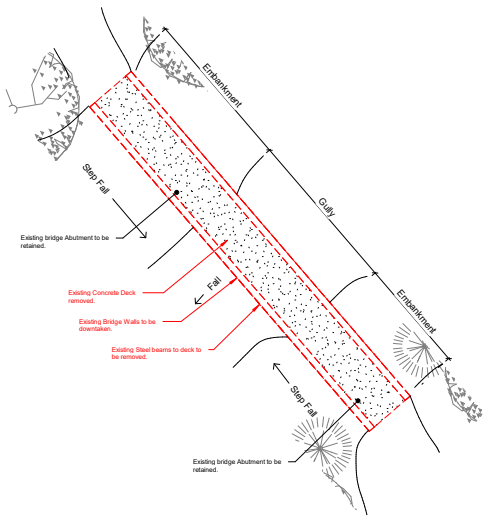
Tipperary County Council

PROJECT:

Clare Glens River Walk

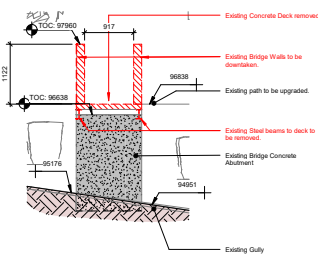
PROPOSED EMERGENCY VEHICLE SET DOWN ENTRANCE AND DETAILS

Project number: 25.0102
Date: 12/02/25
Drawn by: ZG
Checked by: WmG
Scale @ A1: As indicated
Sheet No: 25.0102-WMA-XX-ZZ-DR-A-1001



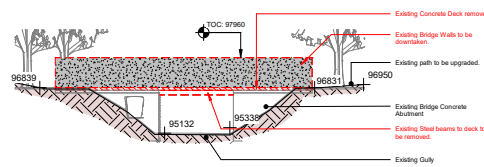
Existing Bridge Deck

1 : 60



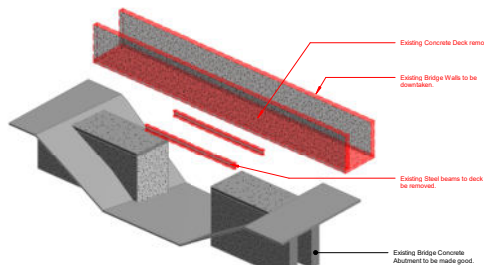
Existing Bridge Short Section

1 : 50



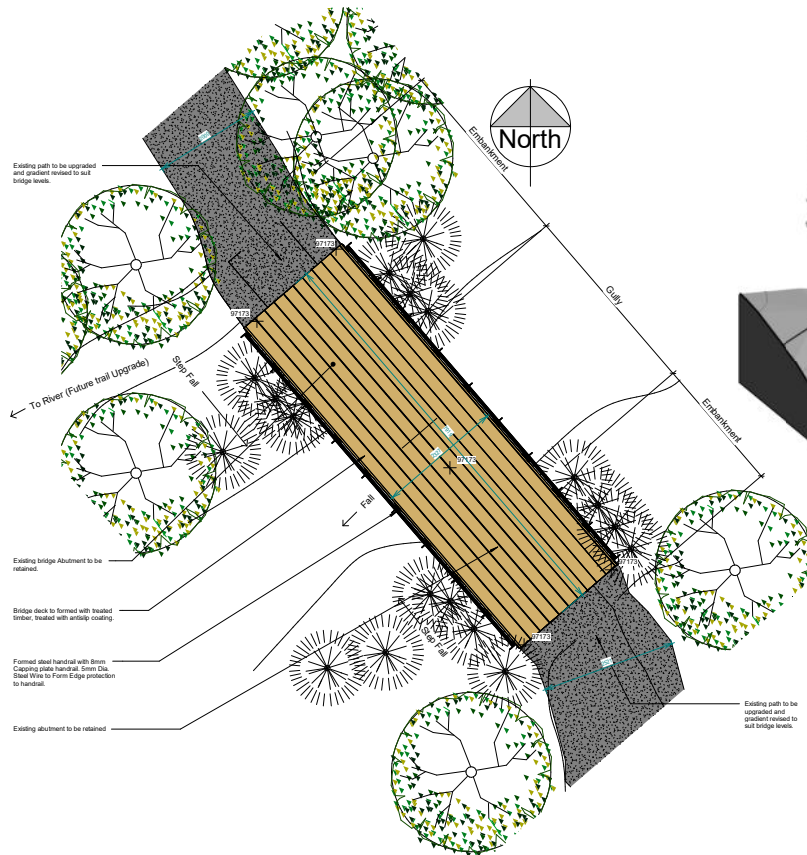
Existing Bridge Long Section

1 : 100



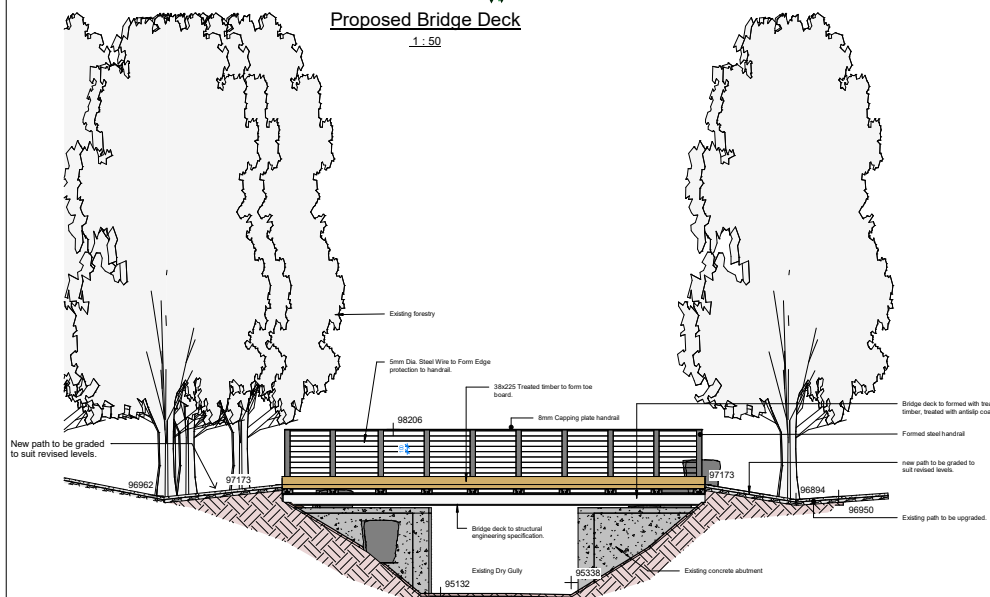
Existing Bridge Works

NTS



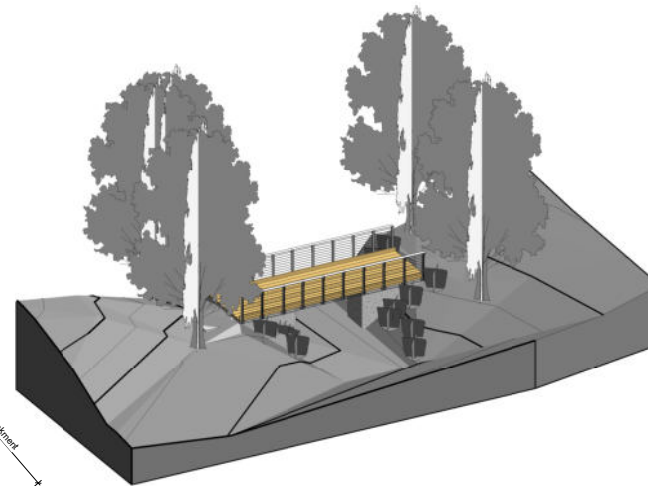
Proposed Bridge Deck

1 : 50



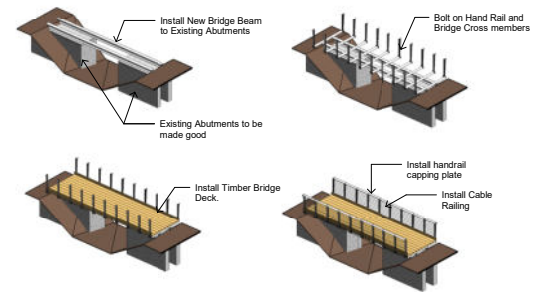
Bridge Long Section

1 : 50



Bridge Isometric

NTS



Rev.	Description	Date	By	To
1	Issued for Review	25/04/25	ZG	WmG
2	Issued for Planning	14/05/25	ZG	WmG

NOTES:

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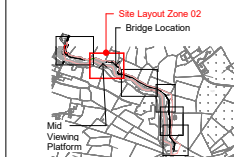
SITE WORKS:

- Existing Mass concrete bridge deck and walls to be removed and waste removed from site and recycled.
- Existing steel bridge deck beams to be removed.
- Existing bridge abutments to be made good.
- New bridge deck to be installed on existing abutments.
- New galvanneal steel bridge beams to be anchored to existing abutments.
- Deck to be installed in sections.
- Material to be retained.
- Existing path to be upgraded and levels and gradients updated to suit revised bridge levels.

FINISHES:

- Bridge Support: Galvanneal steel
- Bridge Deck: Treated timber with anti-rot Coating
- Handrail: Galvanneal steel plate fixed to structural balustrades
- Balustrades: Stainless steel strands @ 100mm Ctr to Ctr tensioned with stainless steel lock bolts

Outline of Demolition / Downkating



Key Plan Zone 02.

1 : 25000



WILL MC GARRY & ASSOCIATES
ENGINEERS
15 MARY STREET CLONMEL

PHONE: 051 431623 EMAIL: INFO@WMAA.ie

MOBILE: 087 277451

Planning

REV: 2

Tipperary County Council

Clare Glens River Walk

Proposed Bridge Update

Project number: 25.0102

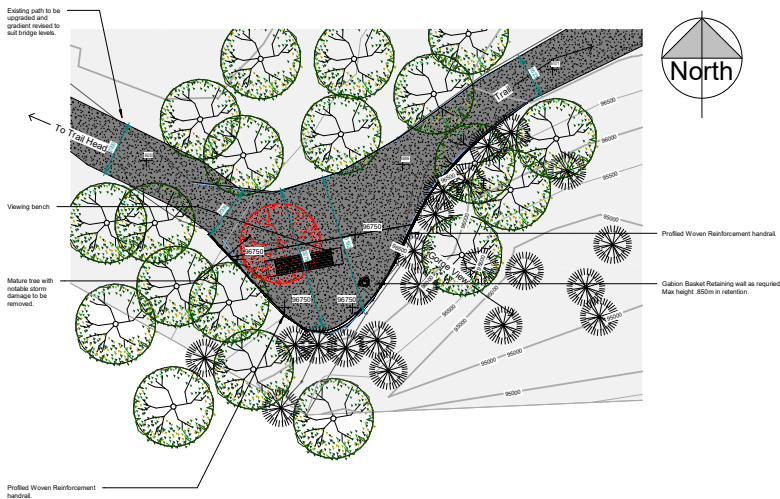
Date: 12/02/25

Drawn by: ZG

Checked by: WmG

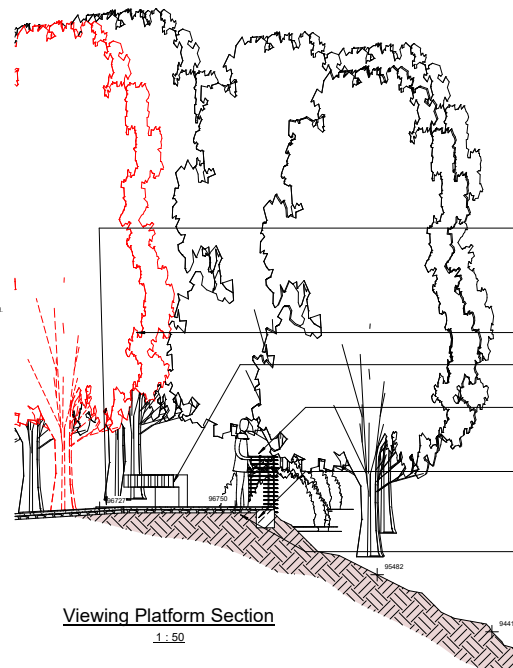
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Sheet No: 25.0102-WMA-XX-ZZ-DR-A-1005



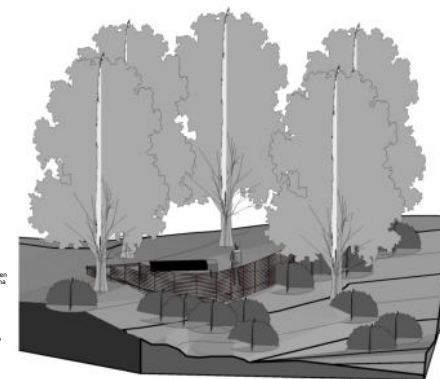
Mid Viewing Platform

1:100



Viewing Platform Section

1:50



3D Mid Viewing Platform

Rev.	Description	Date	By	To
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1	Issued for Review	25/04/25	ZG	WmG
2	Issued for Planning	14/05/25	ZG	WmG

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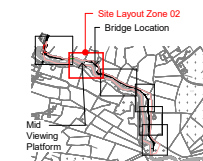
SITE WORKS

- Install of handrail
- Levels of path to be revised to suit viewing platform
- Install of viewing platform foundations
- Install steel frame for viewing platform
- Install steel for viewing platform
- Install handrails
- Install benches

FINISHES

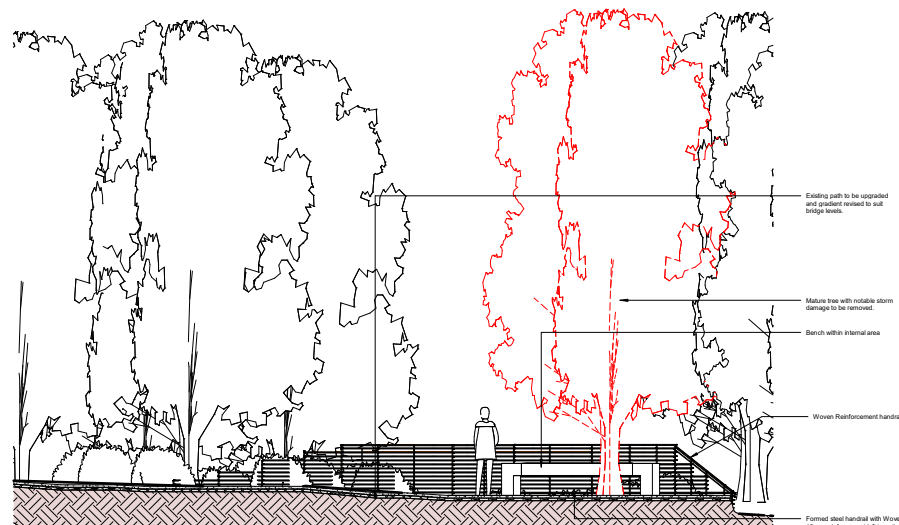
- Handrail - Woven steel in patina color treated to prevent further oxidation.
- Viewing Deck - Treated timber with anti slip Coating
- Support Frame - Galvanized steel

--- Outline of Demolishing / Dismantling



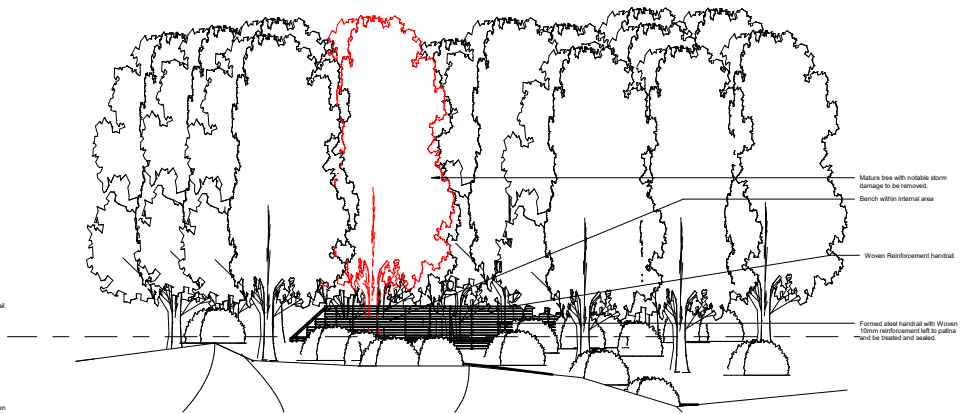
Key Plan Zone 02

1:25000



Mid Viewing Platform Elevation North

1:50



Mid Viewing Platform Elevation South

1:75



WILL MC GARRY & ASSOCIATES
ENGINEERS
15 MARY STREET CLONMEL

PHONE: 051 435123 MOBILE: 087 277495 EMAIL: INFO@WMAAIE

Planning REV: 2

Tipperary County Council

Clare Glens River Walk

Mid Viewing Platform

Project number: 25.0102

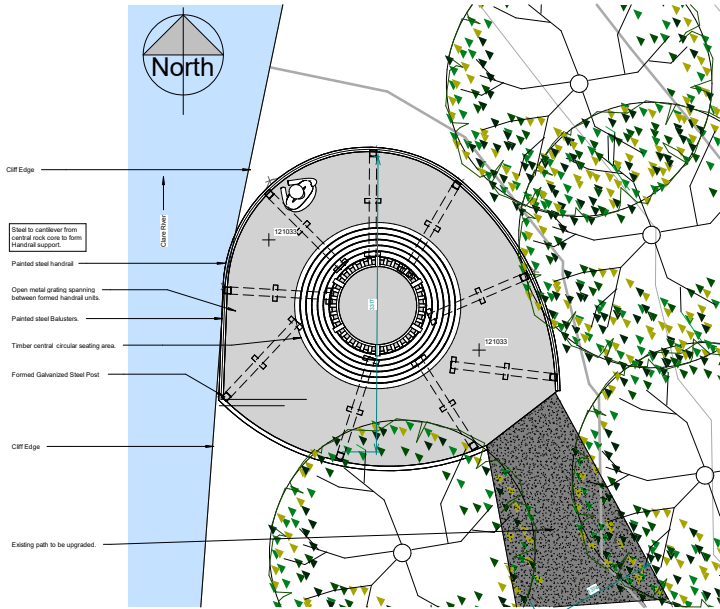
Date: 12/02/25

Drawn by: ZG

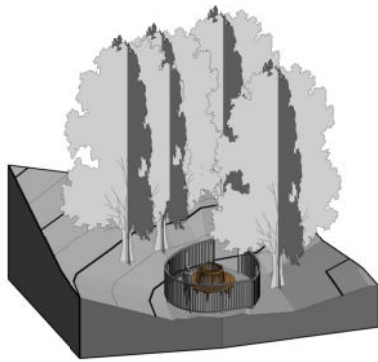
Checked by: WmG

Scale @ A1: As indicated

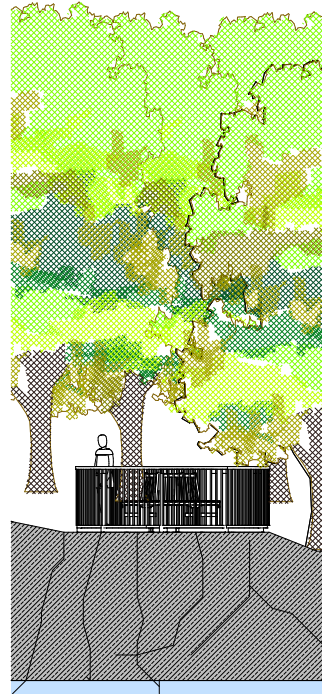
Sheet No: 25.0102-WMA-XX-ZZ-DR-A-1006



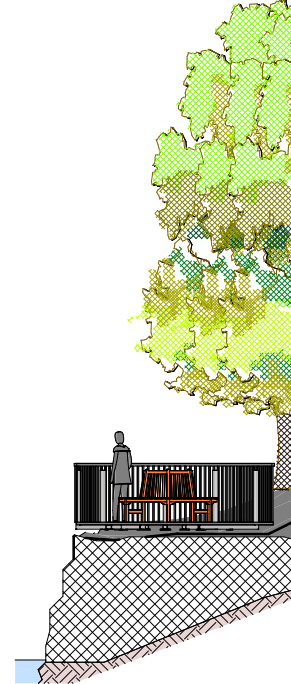
Upper Viewing Platform Plan
1 : 30



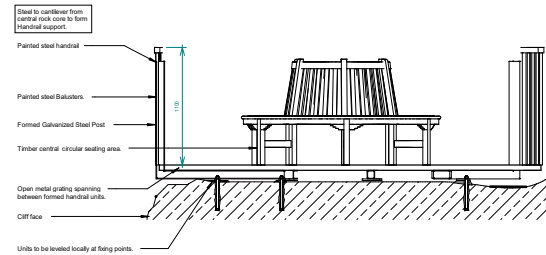
Viewing Platform Isometric



Front Elevation
1 : 50



Rear Elevation
1 : 50



Viewing Platform Section
1 : 25

Rev.	Description	Date	By	To
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1	Issued for Review	25/04/25	ZG	WmG
2	Issued for Planning	14/05/25	ZG	WmG

NOTES:

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2. ALL RESPONSIBILITY FOR THE DELIVERABLES LIES WITH CLIENT AND RELEVANT APPOINTED PARTIES.
3. DO NOT SCALE FROM DRAWINGS.
4. ALL DIMENSIONS IN S.I. UNITS UNO.

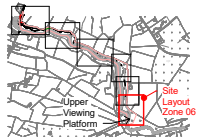
SITE WORKS:

- Install of handrail
- Levels of path to be revised to suit viewing platform
- Install of viewing platform foundations
- Install steel frame for viewing platform
- Install steel for viewing platform
- Install handrails
- Install benches

FINISHES:

- Handrail - Painted steel
- Viewing Deck - Treated timber with anti slip Coating
- Support Frame - Galvanized steel

--- Outline of Demolishing / Downtaking



Key Plan Zone 06
1 : 25000



WILL MC GARRY & ASSOCIATES
ENGINEERS
15 MARY STREET CLOMEL

PHONE: 051 431211 MOBILE: 087 277401 EMAIL: INFO@WMAAIE

Planning	REV: 2
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Tipperary County Council

Clare Glens River Walk

Upper Viewing Platform Plan

Project number: 25.0102

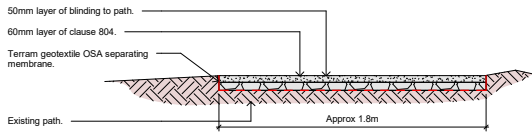
Date: 12/02/25

Drawn by: ZG

Checked by: WmG

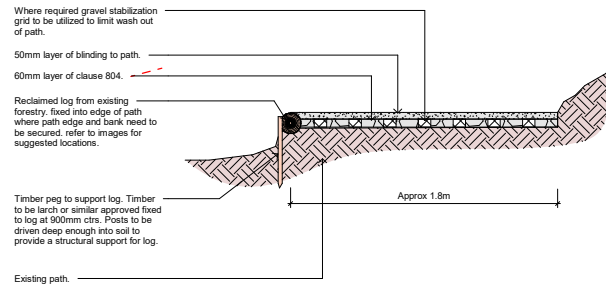
Scale @ A1: As indicated

Sheet No: 25.0102-WMA-XX-ZZ-DR-A-1007



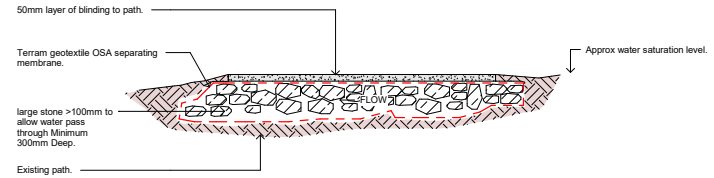
Proposed Existing Path Upgrade

1 : 20



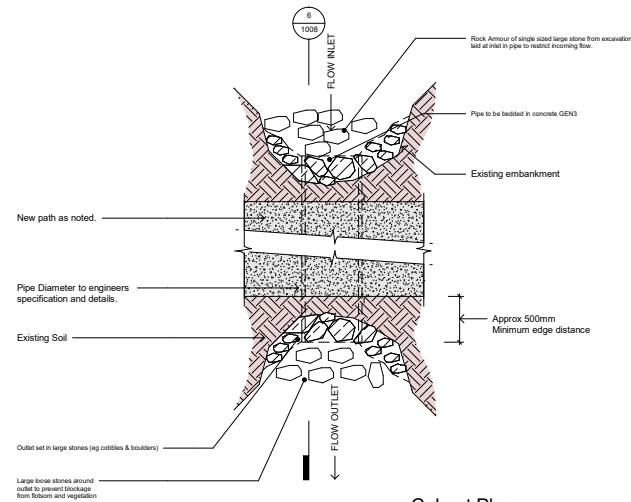
Proposed Path Upgrade Adjacent to River

1 : 20



Proposed Path Upgrade a waterlogged path

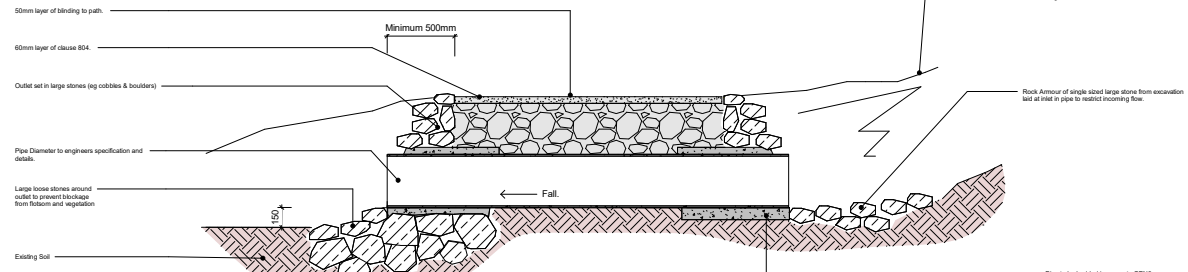
1 : 20



Culvert Plan

1 : 20

NOTE: Outlet to be constructed during period of dry weather when water flow is minimal to ensure silt does not enter main watercourse. Contractor to take all appropriate precautions with respect to storage and use of materials to ensure watercourse is not polluted.

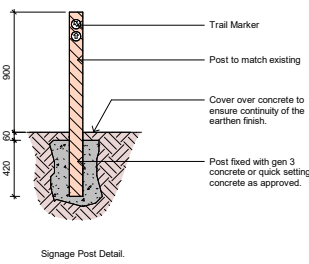


Culvert Section

1 : 20

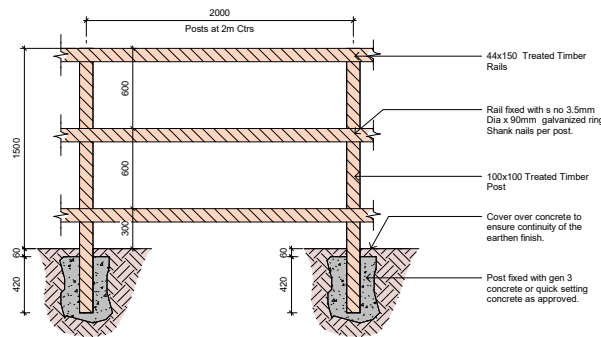


Example of Existing Composite Signage post.



Signage Post

1 : 20



Post and Rail Fence

1 : 20

Rev.	Description	Date	By	To
1	Issued for Review	25/04/25	ZG	WmG
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WILL MC GARRY & ASSOCIATES
ENGINEERS
15 MARY STREET CLONMEL

PHONE: 051 431523 MOBILE: 086 2774051 EMAIL: INFO@WMAH.EI

REV:	2
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Planning

Tipperary County Council

Clare Glens River Walk

Typical Path Upgrade Details

Project number: 25.0102

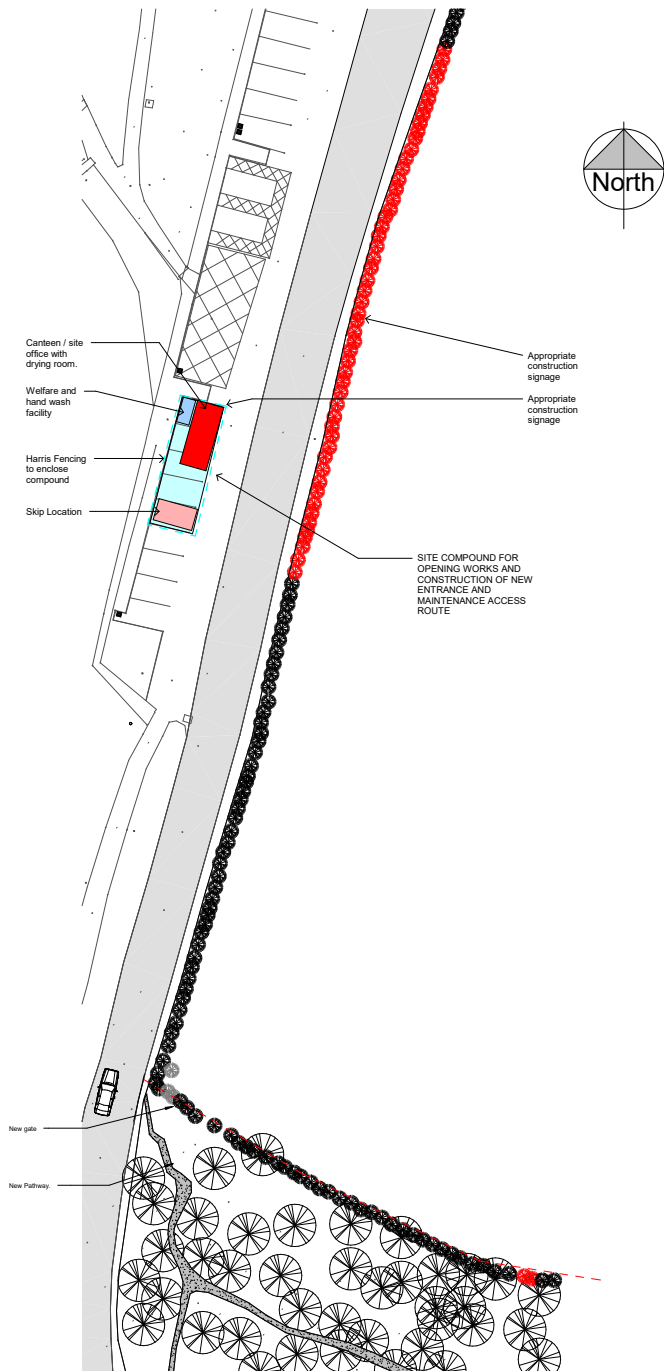
Date: 12/02/25

Drawn by: ZG

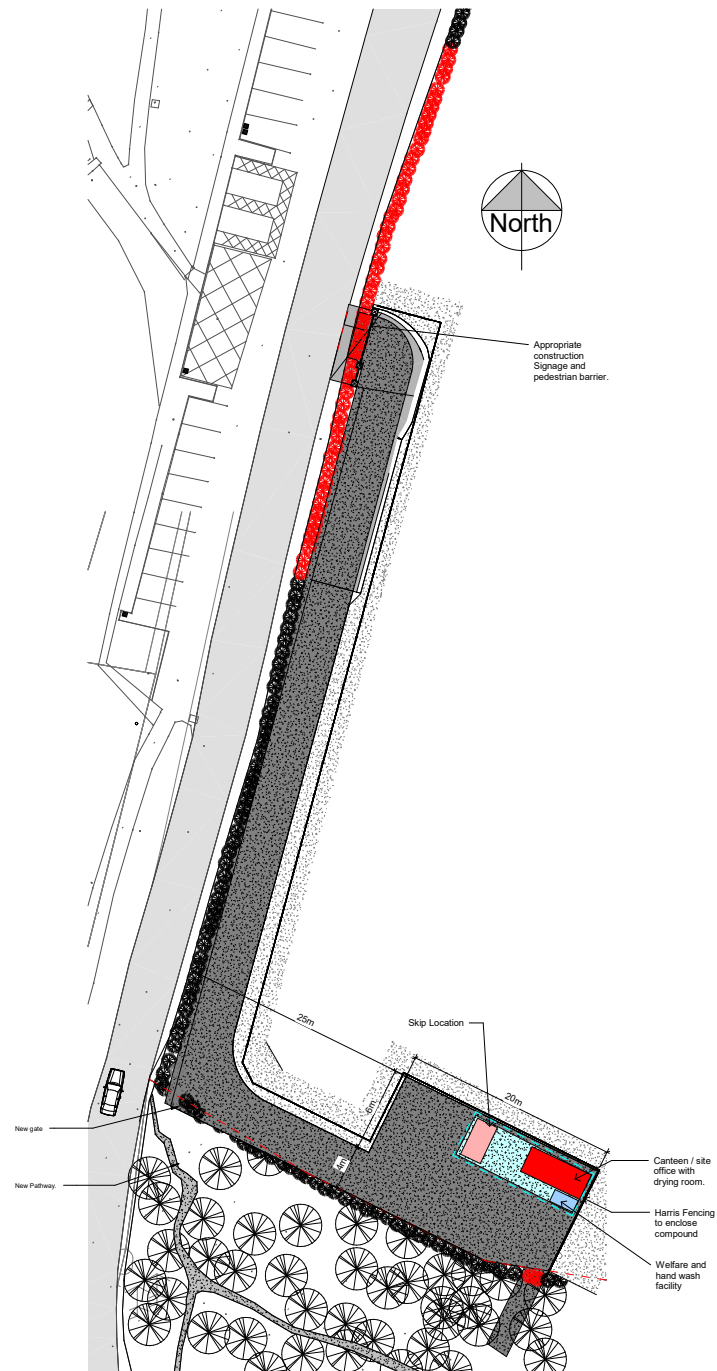
Checked by: WmG

Scale @ A1: 1 : 20

Sheet No: 25.0102-WMA-XX-ZZ-DR-A-1008



Site Compound Phase 1
1 : 250



Site Compound Phase 2
1 : 250

Rev.	Description	Date	By	To
1	Issued for Review	20/04/25	ZG	WMBG
2	Issued for Planning	14/05/25	ZG	WMBG

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WILL MC GARRY & ASSOCIATES
ENGINEERS
15 MARY STREET CLONMEL

PHONE: 051 431523 MOBILE: 087 277451 EMAIL: INFO@WMAAIE

Planning	REV: 2
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Tipperary County Council

Clare Glens River Walk

Proposed Site Construction Site Compound

Project number: 25.0102

Date: 12/02/25

Drawn by: ZG

Checked by: ZG

Scale @ A1: 1 : 250

Sheet No: 25.0102-WMA- ZZ- XX- DR- A- 2000