



Receipt No  
133288

**PLANNING & DEVELOPMENT ACT, 2000 (as amended)**

Application for a Section 5 Declaration  
Development / Exempted Development

**1. Applicant's address/contact details:**

Applicant	UPPERCHURCH / DROMBANE PARISH FINANCE COMMITTEE.
Address	PAROCHIAL HOUSE, BALLYBOY, UPPERCHURCH, THURLES, CO. TIPPERARY.
Telephone No.	[REDACTED]
E-mail	N/A. CONTACT AGENT.

**2. Agent's (if any) address:**

Agent	EMO ARCHITECTS, BRENDAN MC EVoy.
Address	107 INFORD ROAD, DUBLIN 16, DUBLIN 16, D16 CF22.
Telephone No.	[REDACTED]
E-mail	[REDACTED]
Please advise where all correspondence in relation to this application is to be sent;	
Applicant [ ]	Agent [✓]

**3. Location of Proposed Development:**

Postal Address or Townland or Location (as may best identify the land or structure in question)	CHURCH OF THE SACRED HEART, UPPERCHURCH, THURLES, CO. TIPPERARY.
	TIPPERARY CO. COUNCIL RECEIVED 21 NOV 2025

PLANNING SECTION  
FILE NO. 55/25/145

#### 4. Development Details:

Please provide details of the proposed development for which an exemption under Section 5 of the Planning and Development Act is applied for.

(Note: only works and uses listed and described under this section will be assessed under this Section 5 Application. Use additional sheets if required.

A. REPAIR/REPLACEMENT of Roof Valleys.
B. REPAIR to Base of North Aisle/ Transept Roof.
C. MINOR UPGRADE of Sub-Soil Draining.
D. REPLACEMENT of North Aisle Gutter/Fascings to West Gable.
E. REPAIR to Confessional Box Roofs.
F. REPAIR to WATER DAMAGED INTERNAL FINISHES
Proposed floor area of proposed works/uses: sqm N/A

#### 5. Legal Interest of Applicant in the Land or Structure:

<i>Please tick appropriate box to show applicant's legal interest in the land or structure</i>	A. Owner <input checked="" type="checkbox"/>	B. Occupier
	C. Other	
Where legal interest is 'Other', please expand further on your interest in the land or structure		
If you are not the legal owner, please state the name and address of the owner	Name: Address:	

Signature of Applicant(s) on behalf of Date: 15 NOV. 2025

UPPER CHURCH / DROMBANE PARISH FINANCE COMMITTEE

*Note: If the proposed development consists of works to a (Proposed) Protected Structure and/or any structure within the curtilage of a (Proposed) Protected Structure, an application for a Section 57 Declaration may be more appropriate.*



# PLACE Map



CENTRE  
COORDINATES:  
ITM 598737, 661342

ORDER NO.: 50476371\_1  
PUBLISHED: 02/07/2025  
MAP SERIES: 1:5,000  
1:2,500  
4632-D

## COMPILED AND PUBLISHED BY:

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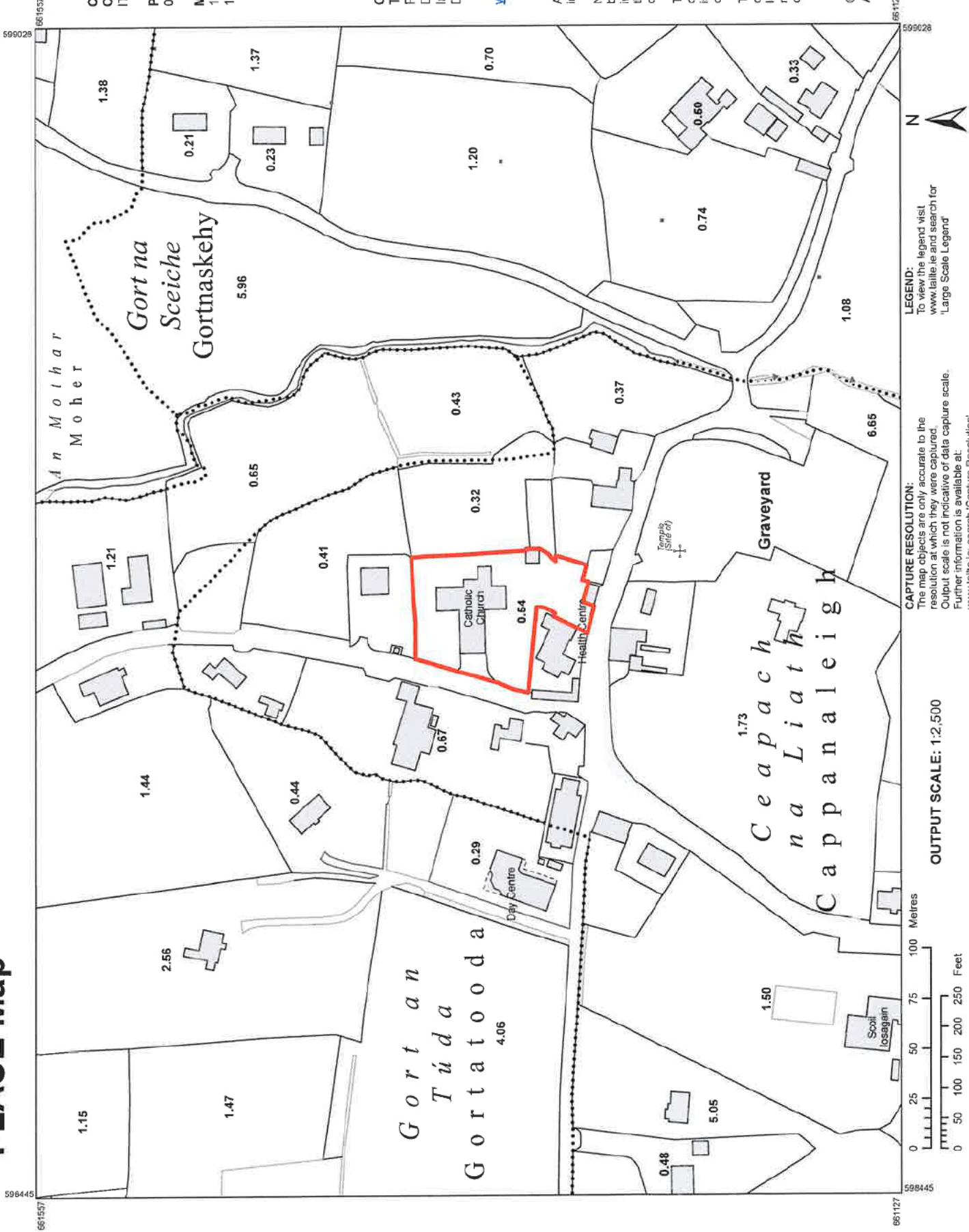
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To view the legend visit  
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Further information is available at:  
[www.tailte.ie](http://www.tailte.ie) search 'Capture Resolution'.

OUTPUT SCALE: 1:2,500  
0 25 50 75 100 Metres  
0 50 100 150 200 250 Feet



REPLACEMENT GUTTERS AND REPAIR OF DOWNPipes.

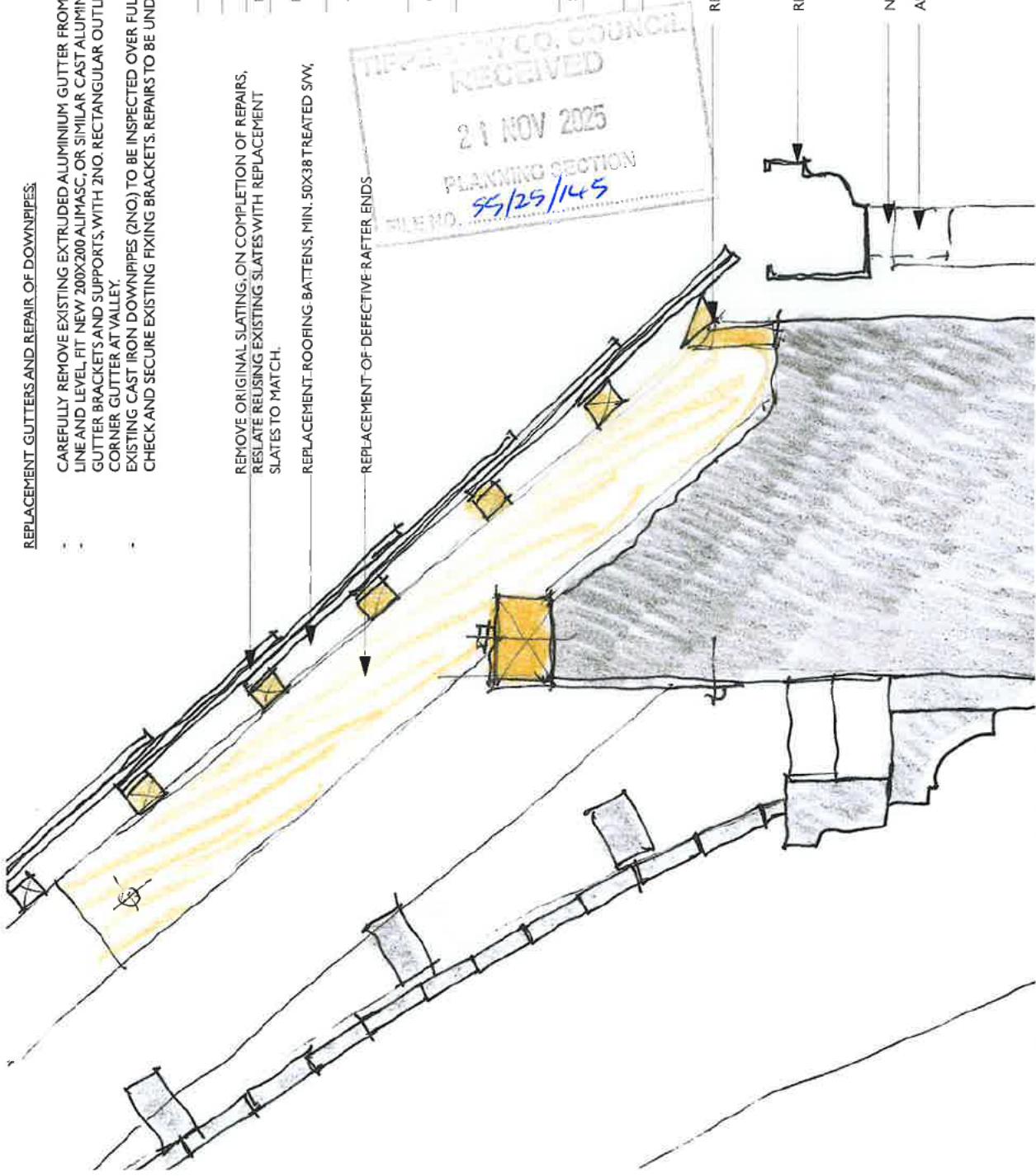
- CAREFULLY REMOVE EXTRUDED ALUMINIUM GUTTER FROM NORTH AISLE AND /WEST OF NORTH TRANSEPT ROOF: 33 LIN. METRES. LINE AND LEVEL, FIT NEW 200X200 ALIMAS, OR SIMILAR CAST ALUMINIUM OGEE PROFILE GUTTER, WITH ALL NECESSARY CAST ALUMINIUM GUTTER BRACKETS AND SUPPORTS; WITH 2NO. RECTANGULAR OUTLETS INSERTED INTO EXISTING CAST IRON DOWNPipes. PREFORMED EXISTING CAST IRON DOWNPipes (2NO.) TO BE INSPECTED OVER FULL HEIGHT, SEALING OF JOINTS TO BE CHECKED AND PIPES FOR PHYSICAL DAMAGE, CHECK AND SECURE EXISTING FIXING BRACKETS. REPAIRS TO BE UNDERTAKEN ON SITE, OR AS REQUIRED.

REV.	DATE.	DESCRIPTION.
PROJECT		CHURCH OF THE SACRED HEART, UPPERCHURCH, CO.TIPPERARY.
TITLE		SECTION 5 DRAWING; NORTH AISLE EAVES DETAIL
CLIENT		UPPERCHURCH & DROMBANE PARISH

**E M D Architects**

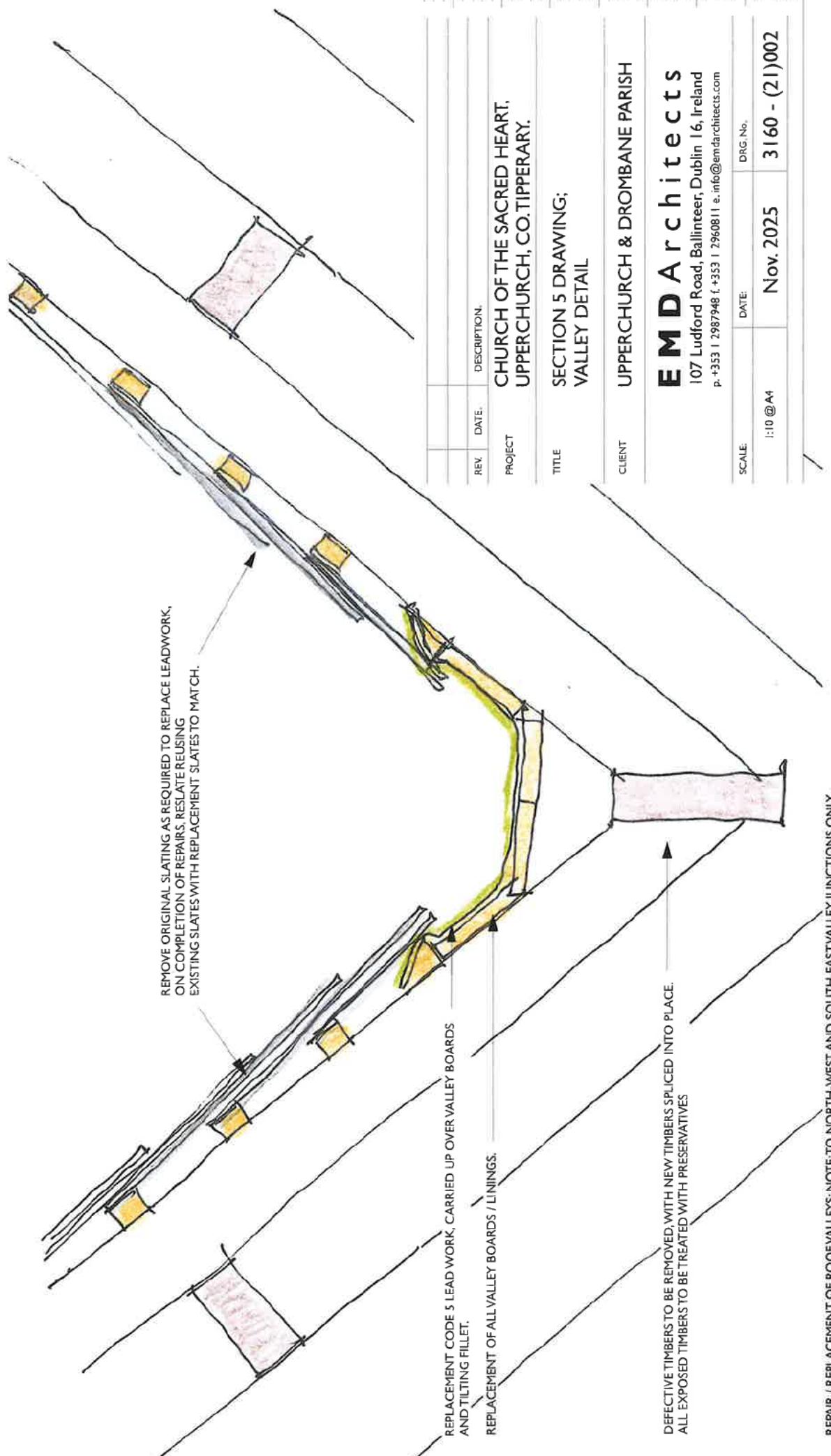
107 Ludford Road, Ballinteer, Dublin 16, Ireland  
P. +353 1 2987948 f. +353 1 2960811 e. info@emdarchitects.com

SCALE: 1:10 @ A4 DATE: Nov. 2025 DRG. NO. 3160 - (21)001



REPAIR TO BASE OF ROOF TO NORTH AISLE /WEST OF NORTH TRANSEPT:

- SCAFFOLD OUT ENTIRE NORTH AISLE AND /WEST OF NORTH TRANSEPT ROOF: 35 LIN. METRES, TO CREATE A WORKING PLATFORM BELOW EAVES LEVEL, AND TO INCLUDE PROVIDING ROOF ACCESS AND HANDRAIL TO WEST GABLE, BOTH NORTH AND SOUTH ROOF PITCHES.
- CAREFULLY REMOVE 5 BOTTOM ROWS OF EXISTING SLATES, STACK AND SET ASIDE FOR REUSE – ALLOW FOR REMOVAL OF 60NO. SLATES.
- EXPOSE BASE OF RAFTERS, WALL PLATE, TRUSSES AND CEILING JOISTS. PROVIDE ADEQUATE AND EFFECTIVE TEMPORARY WEATHER-PROOFING LAYERS, THAT CAN BE EASILY REMOVED /REINSTATED, TO ADEQUATELY THE BUILDING INTERIOR.
- ALL DEFECTIVE TIMBER PORTIONS TO BE TEMPORARILY PROPPED AS REQUIRED, AND REMOVED. SECTIONS OF DEFECTIVE WALL PLATE TO BE CUT OUT AND REPLACED WITH NEW HARDWOOD WALL PLATE TO SAME DIMENSIONS SLOTTED INTO PLACE. BOTTOM OF DEFECTIVE RAFTERS TO BE TEMPORARILY PROPPED OFF CEILING JOISTS BELOW, DEFECTIVE PORTIONS CUT OUT, WITH NEW 115X50MM RAFTERS, STRENGTH CLASS C12, TO EITHER SIDE OF REMOVED TIMBER, BOLTED THROUGH EXISTING RAFTER AND BIRDS-MOUTHED ONTO WALL PLATE.
- ALL EXISTING AND REPLACEMENT TIMBERS TO BE TREATED WITH PRESERVATIVES.
- REINSTATE ORIGINAL SLATE, ALLOW FOR REPLACING 50% (300 SLATES) WITH NEW 600X300 PENRHYN, OR SIMILAR, BLUE BANGOR NATURAL SLATE, COUNTRY / CELTIC GRADE. GAUGE MIN. 7 – 9MM IN BLUE / PURPLE HEATHER COLOUR AND TEXTURE TO CLOSELY MATCH ORIGINAL, FIXED TO EXISTING BATTENS WITH COPPER SLATING NAILS.



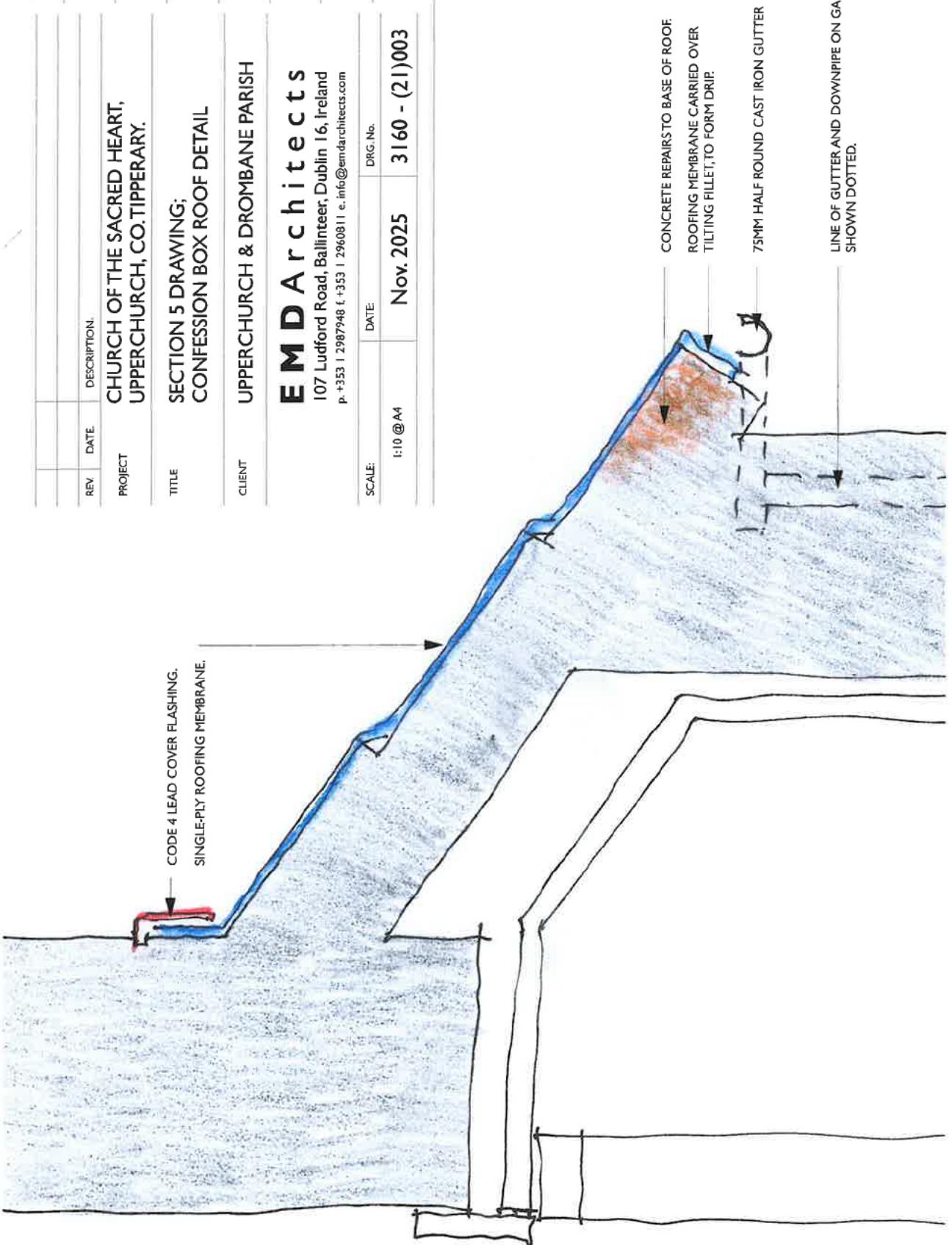
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		CHURCH OF THE SACRED HEART, UPPERCHURCH, CO. TIPPERARY.
PROJECT		
TITLE	SECTION 5 DRAWING; VALLEY DETAIL	
CLIENT	UPPERCHURCH & DROMBANE PARISH	
SCALE	1:10 @ A4	DRG. No.
	Nov. 2025	3160 - (21)002

REV.	DATE.	DESCRIPTION.
PROJECT		CHURCH OF THE SACRED HEART, UPPERCHURCH, CO.TIPPERARY.
TITLE		SECTION 5 DRAWING; CONFESSION BOX ROOF DETAIL

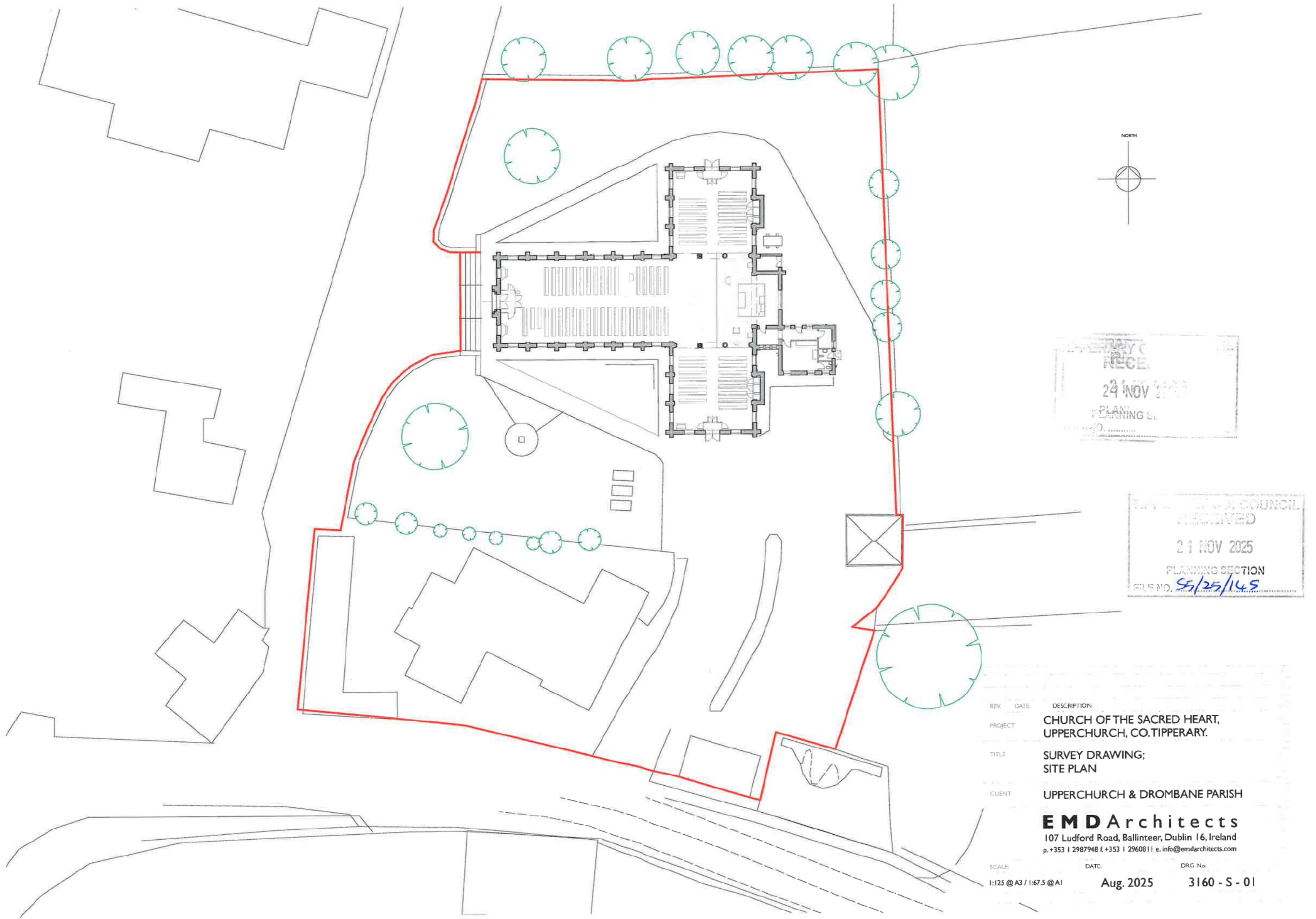
  

CLIENT	UPPERCHURCH & DROMBANE PARISH		
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SCALE:	1:10 @ A4	DATE:	DRG. No.

3160 - (21)003

**REPAIR TO ROOFS OF CONFESSIONAL BOXES:**

- CAREFULLY REMOVE DEFECTIVE AND SPALLED CONCRETE FROM ROOF OVER CONFESSIONAL BOXES.
- CLEAN DOWN CONCRETE ROOF, CLEAN DOWN EXPOSED CONCRETE / REINFORCING BAR AT EDGE OF SLAB. TREAT WITH SELECTED SEALANT / RUST INHIBITOR.
- CONCRETE REPAIRS TO ENSURE CLEAN ARRIS TO ROOF EDGE.
- ENTIRE CONCRETE ROOF TO BE COVERED IN SELECTED SINGLE-PLY ROOFING MEMBRANE, SIKA / TROCAL OR SIMILAR, WITH Drip FLASHING AT BASE AND LEAD COVER FLASHING TO WALL AT ABUTMENT OF ROOFING MEMBRANE TO WALL.
- PROVIDE 50MM HALF-ROUND CAST ALUMINUM GUTTER AND BRACKETS, WITH 90 DEG. CORNER TO 50MM CIRCULAR CAST ALUMINUM DOWNPipe WITH ALL NECESSARY BRACKETS AND SHOE TO DISCHARGE OVER EXISTING / NEW GULLEY.



REV.	DATE	DESCRIPTION
PROJECT	CHURCH OF THE SACRED HEART, UPPERCHURCH, CO.TIPPERARY.	
TITLE	SECTION 5 DRAWING; GROUND FLOOR PLAN	
CLIENT	UPPERCHURCH & DROMBANE PARISH	

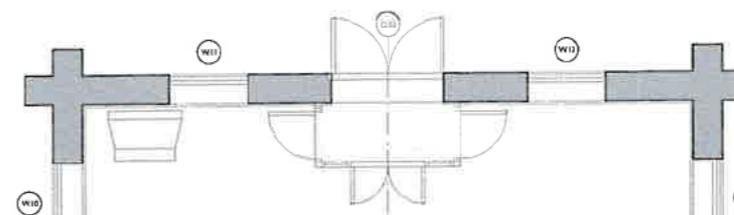
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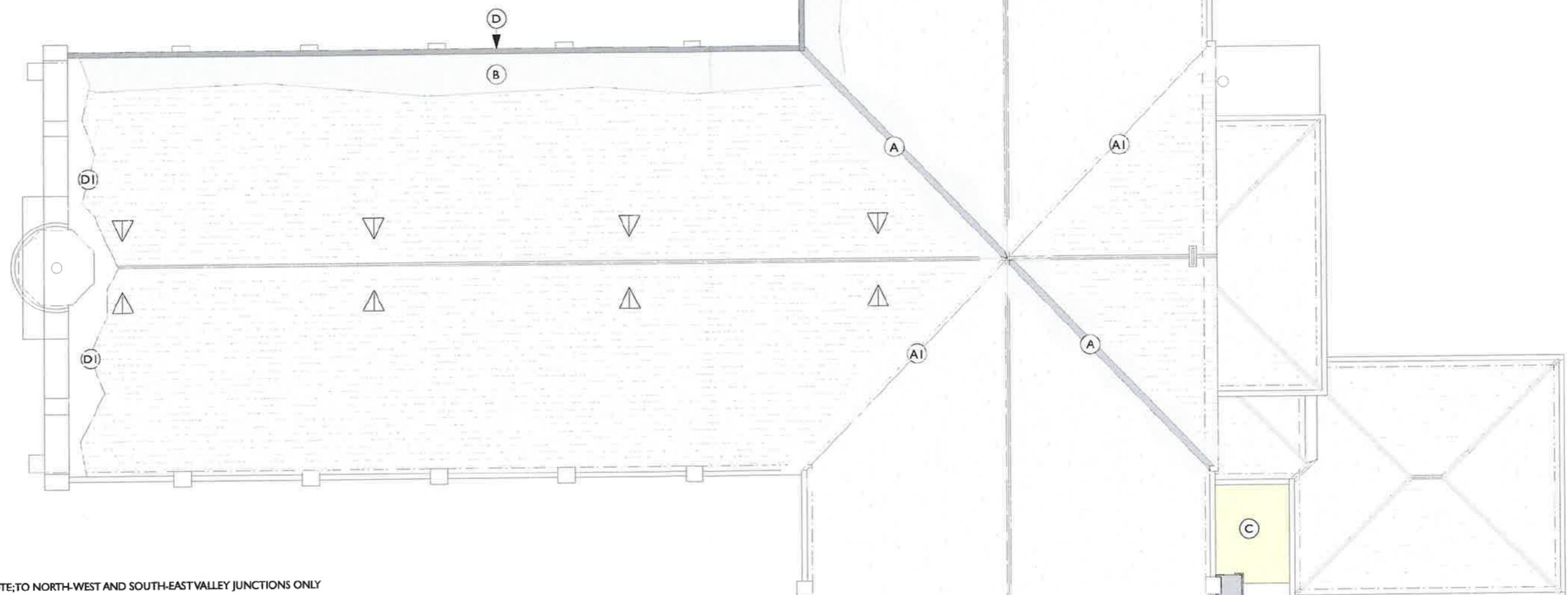
SCALE: DATE DRG. No.  
1:125 @ A3 / 1:62.5 @ A1 Aug. 2025 3160 - S5 - 02

SECTION 5: SCOPE OF WORK

- (C) LOCALISED REPLACEMENT OF CONCRETE SLAB AND SUBSOIL DRAINAGE.
- (D) REPAIR / SEAL DOWNPipe, REPLACEMENT GUTTER.
- (F) CLEAN DOWN DEFECTIVE FINISHES, REINSTATE & REDECORATE

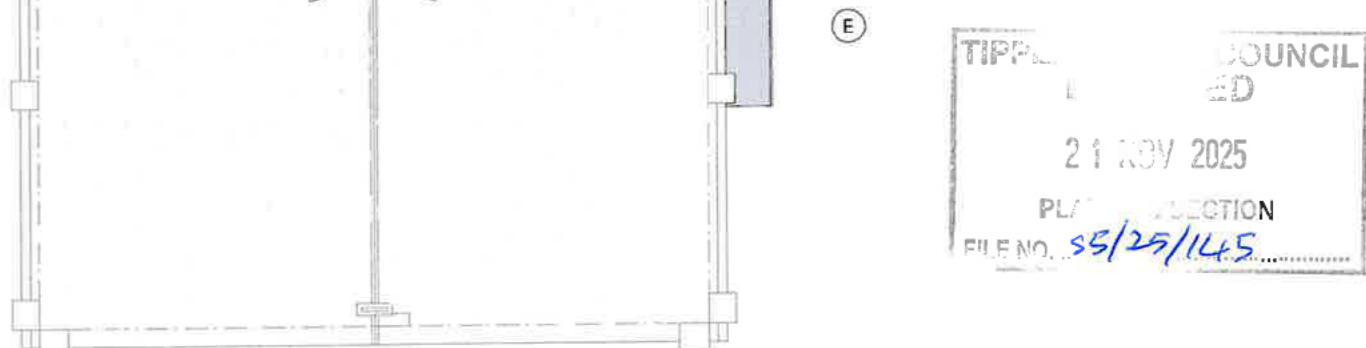


REV.	DATE.	DESCRIPTION
PROJECT		CHURCH OF THE SACRED HEART, UPPERCHURCH, CO.TIPPERARY.
TITLE		SECTION 5 DRAWING; ROOF PLAN
CLIENT		UPPERCHURCH & DROMBANE PARISH
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SCALE:	DATE	DRG. No.
I:125 @ A3 / I:62.5 @ A1	Aug. 2025	3160 - S5 - 03



#### SECTION 5: SCOPE OF WORK

- (A) REPAIR OF ROOF VALLEYS; NOTE; TO NORTH-WEST AND SOUTH-EAST VALLEY JUNCTIONS ONLY
- (AI) REPAIR OF ROOF VALLEYS; NORTH-EAST AND SOUTH-WEST VALLEY TO BE CONFIRMED.
- (B) REPAIRS / REPLACEMENT TO BASE OF NORTH AISLE / TRANSEPT ROOF.
- (C) MINOR UPGRADE TO SUB-SOIL DRAINAGE.
- (D) REPAIR / SEAL DOWNPPIPES AND REPLACEMENT GUTTERS.
- (DI) REPAIR TO LEAD FLASHINGS / INSPECTION OF BELCOTE
- (E) REPAIR TO ROOFS OF CONFESSIONAL BOXES, REPLACEMENT RAINWATER GOODS.

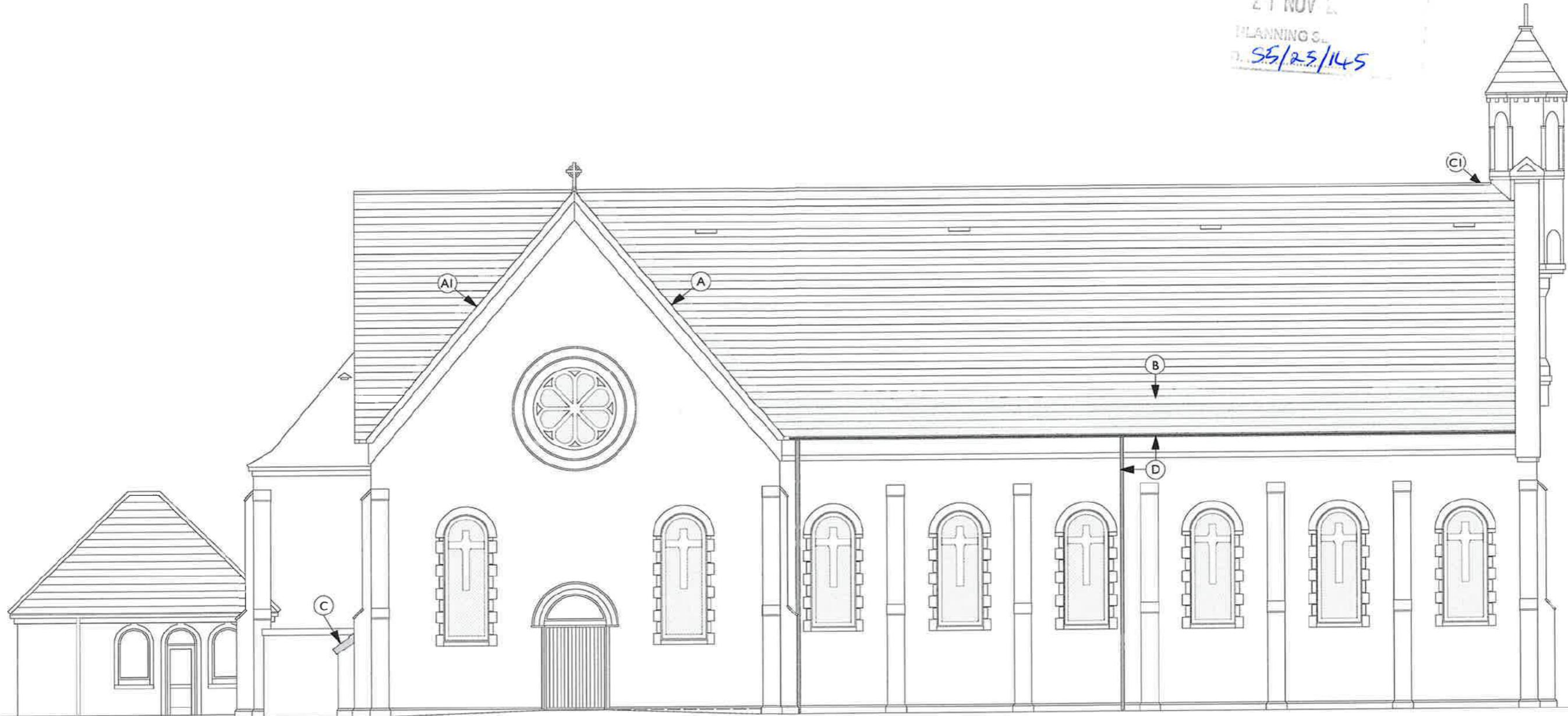


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RECL

21 NOV 2025

PLANNING C.

D. 55/25/145



NORTH ELEVATION

- (A) REPAIR OF ROOFVALLEYS; NOTE; TO NORTH-WEST AND SOUTH-EAST VALLEY JUNCTIONS ONLY
- (A1) REPAIR OF ROOFVALLEYS; NORTH-EAST AND SOUTH-WEST VALLEY TO BE CONFIRMED.
- (B) REPAIRS / REPLACEMENT TO BASE OF NORTH AISLE / TRANSEPT ROOF.
- (D) REPAIR / SEAL DOWNPipe AND CONNECTION TO GUTTER.
- (D1) REPAIR TO LEAD FLASHINGS / INSPECTION OF BELCOTE
- (E) REPAIR TO ROOFS OF CONFESSORIAL BOXES;

REV.	DATE.	DESCRIPTION.
PROJECT	CHURCH OF THE SACRED HEART, UPPERCHURCH, CO. TIPPERARY.	
TITLE	SECTION 5 DRAWING; NORTH ELEVATION	
CLIENT	UPPERCHURCH & DROMBANE PARISH	

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SCALE:	DATE	DRG. No.
1:125 @ A3 / 1:62.5 @ A1	Nov. 2025	3160 - S5 - 04



EAST ELEVATION

- (B) REPAIRS / REPLACEMENT TO BASE OF NORTH AISLE / TRANSEPT ROOF.
- (D) REPAIR / SEAL DOWNPipe AND CONNECTION TO GUTTER.



REV.	DATE.	DESCRIPTION.
PROJECT	CHURCH OF THE SACRED HEART, UPPERCHURCH, CO.TIPPERARY.	

TITLE	SECTION 5 DRAWING; EAST ELEVATION	
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CLIENT	UPPERCHURCH & DROMBANE PARISH	
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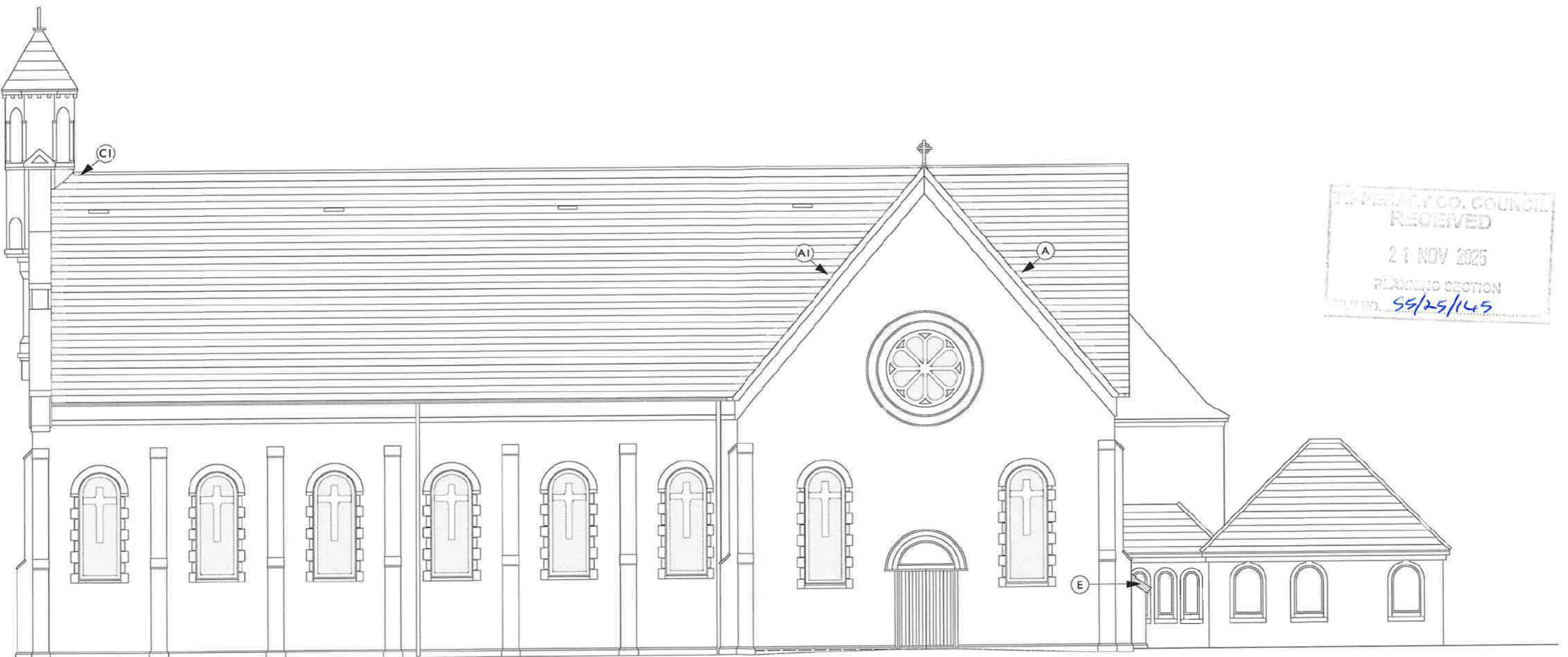


WEST ELEVATION

- (A) REPAIR OF ROOFVALLEYS; NOTE: TO NORTH-WEST AND SOUTH-EAST VALLEY JUNCTIONS ONLY
- (AI) REPAIR OF ROOFVALLEYS; NORTH-EAST AND SOUTH-WEST VALLEY TO BE CONFIRMED.
- (E) REPAIR TO ROOFS OF CONFESSIONAL BOXES; NEW RAINWATER GOODS

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FILE NO. SS/25/145

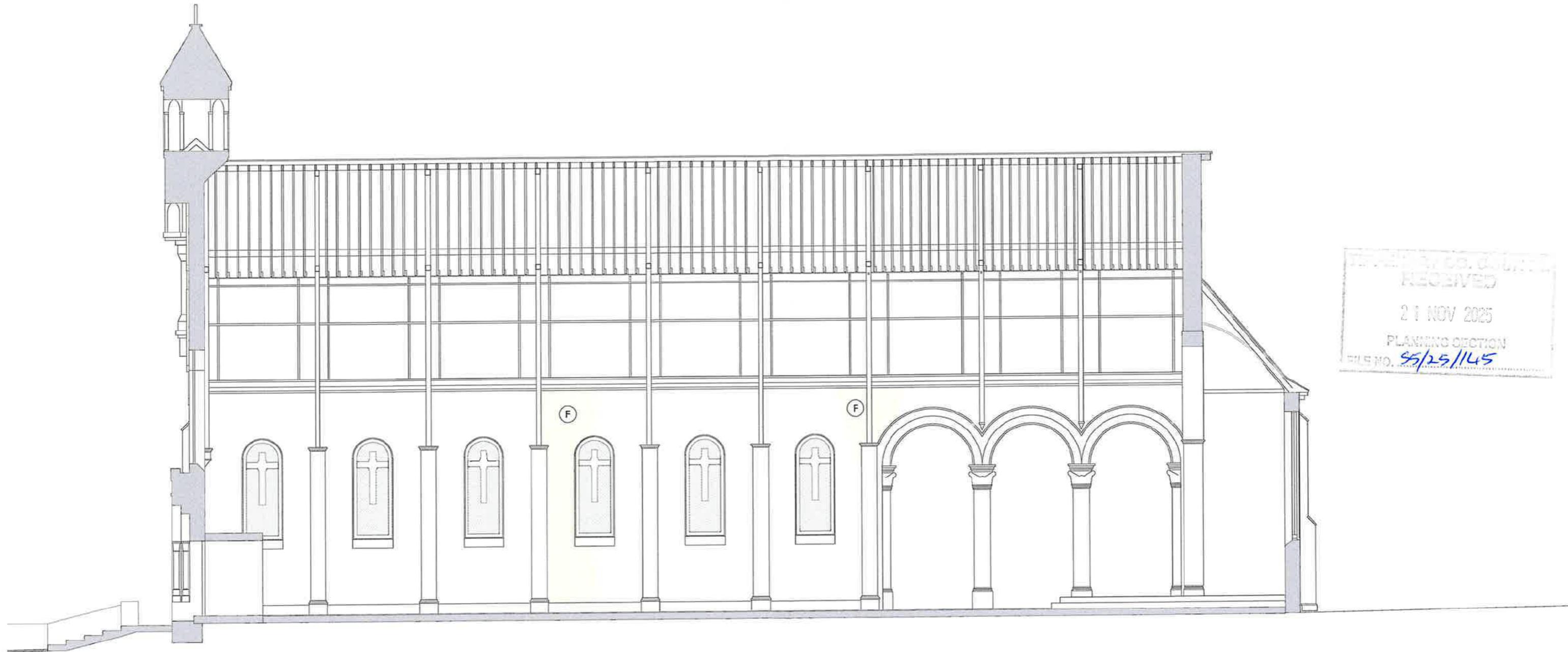
REV.	DATE	DESCRIPTION
PROJECT	CHURCH OF THE SACRED HEART, UPPERCHURCH, CO. TIPPERARY.	
TITLE	SECTION 5 DRAWING; WEST ELEVATION	
CLIENT	UPPERCHURCH & DROMBANE PARISH	
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SCALE:	DATE:	DRG No.
I:125 @ A3 / I:62.5 @ A1	Nov. 2025	3160 - S5 - 06



#### SOUTH ELEVATION

- (A) REPAIR OF ROOFVALLEYS; NOTE; TO NORTH-WEST AND SOUTH-EAST VALLEY JUNCTIONS ONLY
- (A1) REPAIR OF ROOFVALLEYS; NORTH-EAST AND SOUTH-WEST VALLEY TO BE CONFIRMED.
- (CI) REPAIR TO LEAD FLASHINGS / INSPECTION OF BELCOTE
- (E) REPAIR TO ROOFS OF CONFESSIONAL BOXES, NEW RAINWATER GOODS.

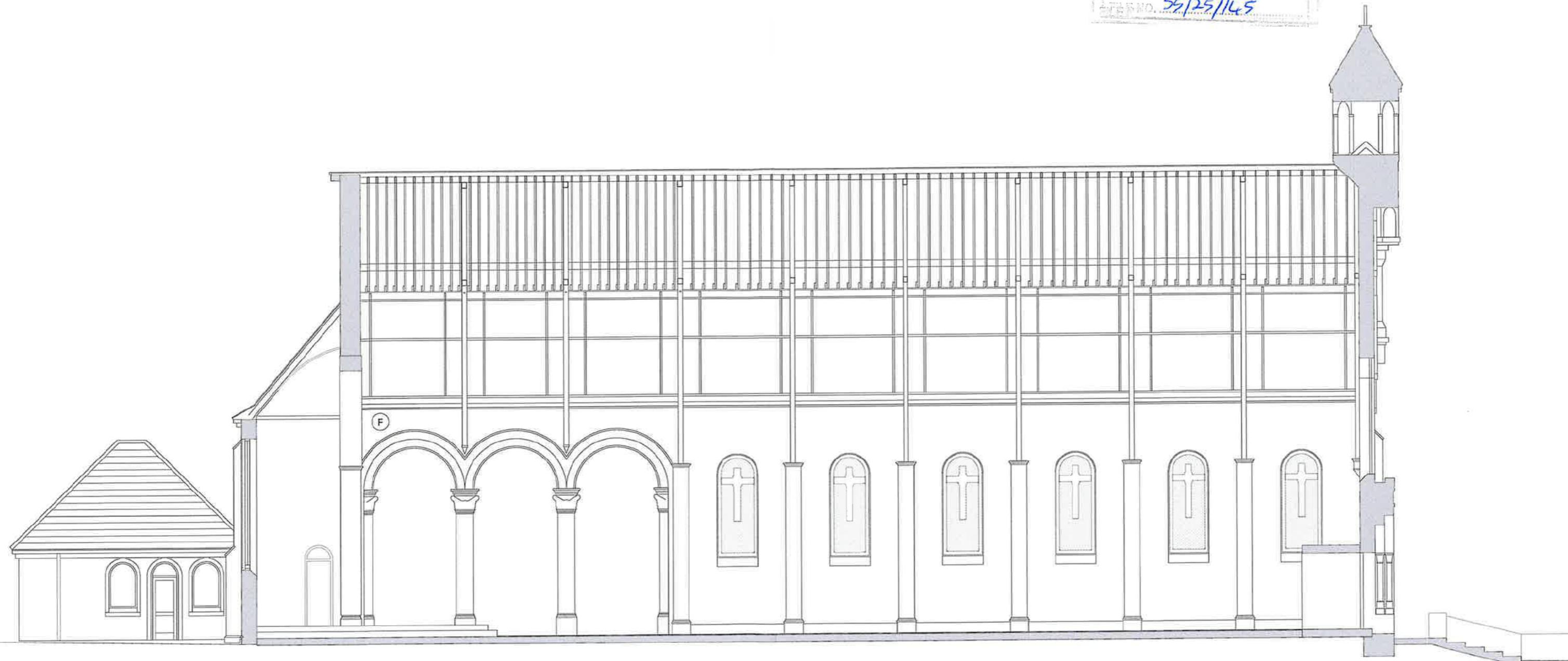
REV	DATE	DESCRIPTION
PROJECT		CHURCH OF THE SACRED HEART, UPPERCHURCH, CO.TIPPERARY.
TITLE		SECTION 5 DRAWING; SOUTH ELEVATION
CLIENT		UPPERCHURCH & DROMBANE PARISH
<b>EMD Architects</b>		
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SCALE:	DATE:	DRG No.
I:125 @ A3 / I:62.5 @ A1	Nov. 2025	3160 - S5 - 07



SECTION A-A

(F) CLEAN DOWN DEFECTIVE FINISHES, REINSTATE & REDECORATE

REV.	DATE.	DESCRIPTION
PROJECT	CHURCH OF THE SACRED HEART, UPPERCHURCH, CO.TIPPERARY.	
TITLE	SECTION 5 DRAWING; SECTION A-A.	
CLIENT	UPPERCHURCH & DROMBANE PARISH	
<b>EMD Architects</b> 107 Ludford Road, Ballinteer, Dublin 16, Ireland p. +353 1 2987948 f. +353 1 2960811 e. info@emdarchitects.com		
SCALE:	DATE:	DRG. No.
1:125 @ A3 / 1:62.5 @ A1	Nov. 2025	3160 - S5 - 08



SECTION B-B

REV	DATE	DESCRIPTION
PROJECT	CHURCH OF THE SACRED HEART, UPPERCHURCH, CO.TIPPERARY.	
TITLE	SECTION 5 DRAWING; SECTION B-B	
CLIENT	UPPERCHURCH & DROMBANE PARISH	
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SECTION C-C

(F) CLEAN DOWN DEFECTIVE FINISHES, REINSTATE & REDECORATE

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PLANNING SECTION  
FILE NO. 55/25/145

REV.	DATE.	DESCRIPTION
PROJECT	CHURCH OF THE SACRED HEART, UPPERCHURCH, CO.TIPPERARY.	
TITLE	SECTION 5 DRAWING; SECTION C-C.	
CLIENT	UPPERCHURCH & DROMBANE PARISH	
<b>EMD Architects</b> 107 Ludford Road, Ballinteer, Dublin 16, Ireland p. +353 1 2987948 f. +353 1 296081 e. info@emdarchitects.com		
SCALE:	DATE:	DRG. No.
I:125 @ A3 / I:62.5 @ A1	Nov. 2025	3160 - S5 - 10



SECTION D-D

(F) CLEAN DOWN DEFECTIVE FINISHES, REINSTATE & REDECORATE



REV.	DATE.	DESCRIPTION.
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PROJECT      CHURCH OF THE SACRED HEART,  
                  UPPERCHURCH, CO.TIPPERARY.

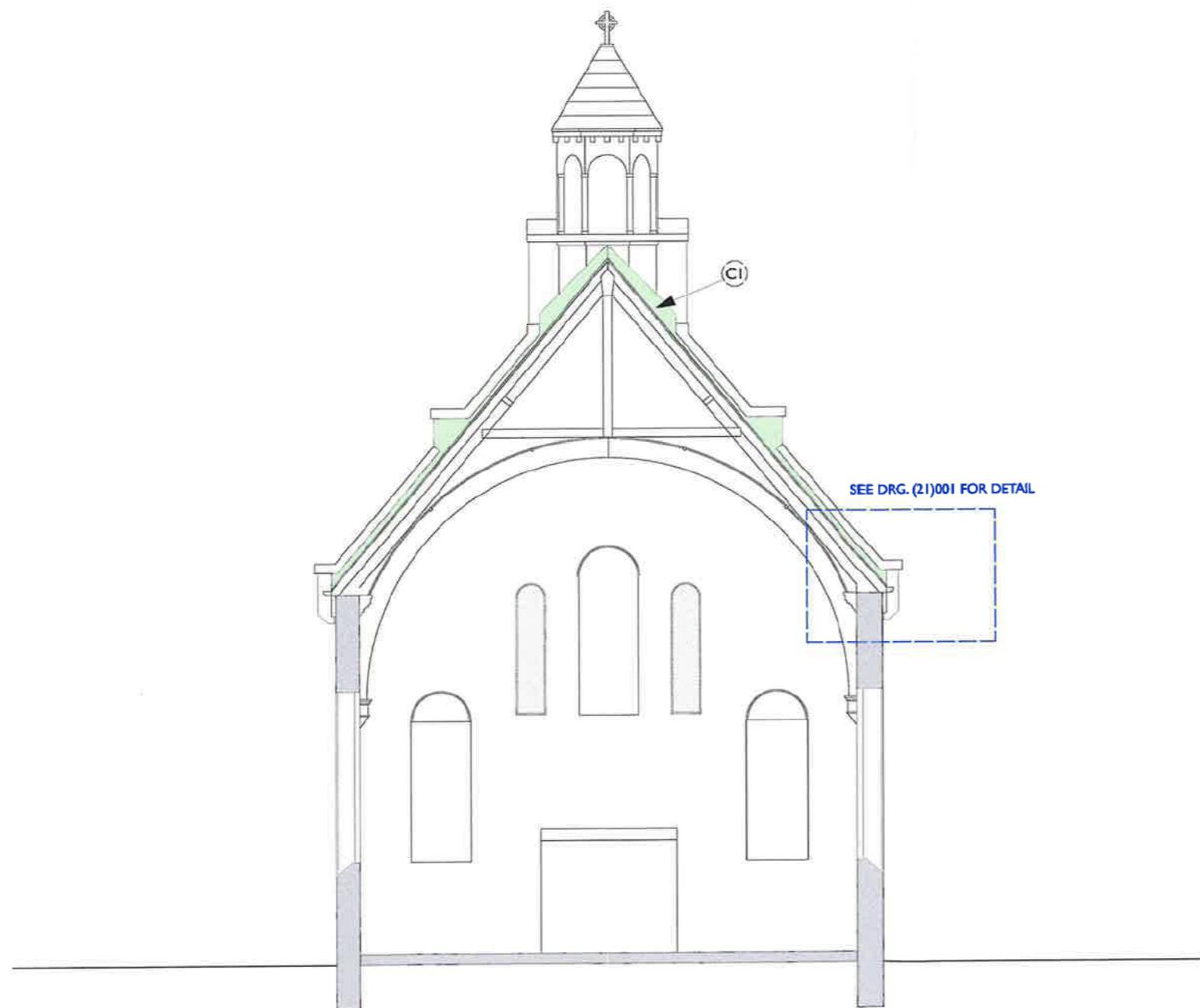
TITLE      SECTION 5 DRAWING;  
                  SECTION C-C.

CLIENT      UPPERCHURCH & DROMBANE PARISH

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SCALE:	DATE:	DRG No.
1:125 @ A3 / 1:62.5 @ A1	Nov. 2025	3160 - S5 - 11



(C1) REPAIR TO LEAD FLASHINGS / INSPECTION OF BELCOTE

SECTION E-E;

SEE DRG. (21)001 FOR DETAIL



REV	DATE	DESCRIPTION
PROJECT	CHURCH OF THE SACRED HEART, UPPERCHURCH, CO.TIPPERARY.	
TITLE	SECTION 5 DRAWING; SECTION E-E.	
CLIENT	UPPERCHURCH & DROMBANE PARISH	
<b>EMD Architects</b> 107 Ludford Road, Ballinteer, Dublin 16, Ireland p. +353 1 2987948 f. +353 1 296081 e. info@emdarchitects.com		
SCALE:	DATE:	DRG. No.
I:125 @ A3 / I:62.5 @ A1	Nov. 2025	3160 - S5 - 12

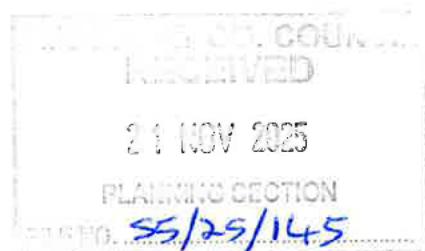
# EMD Architects

107 Ludford Road, Ballinteer, Dublin 16, Ireland

T +353 1 298 7948 F + 353 1 296 0811 W [www.emdarchitects.com](http://www.emdarchitects.com)

## Architectural Heritage Impact Assessment Report;

**Repair and renewal works at the Church of the Sacred Heart, Upperchurch, Co. Tipperary.**



November 2025

<b>Contents:</b>	<b>Page</b>
1.0 Introduction	2
1.1 Background to this report	
1.2 Statutory assessment and Legislative Protection	
2.0 Historical Background	3
3.0 Survey of existing building	5
3.1 Site	
3.2 Exterior of building	
3.3 Interior of building	
4.0 Statement of significance	9
5.0 Comment on defective elements	9
6.0 Proposed scope of remedial, repair and renewal works	15
7.0 Conclusion	19

## **1.0 Introduction:**

### **1.1 Background to this Report:**

This Report has been prepared on behalf of the Upperchurch / Drombane Parish Finance Committee by Mr. Brendan Mc Evoy, Master of Urban and Building Conservation and Grade 2 RIAI Architect Accredited in Conservation, of EMD Architects, 107 Ludford Road, Ballinteer, Dublin 16. The author also holds a Diploma in Archaeology and a Masters in World Heritage Conservation.

The report shall assess the significance of the church in terms of architectural heritage. The report shall then describe the proposed remedial, repair and renewal works. The purpose of this report is to accompany a Section 5 submission to Tipperary County Council, to determine if these works can be undertaken without the requirement for planning permission.

The existing building consists of the church and attached sacristy, built in 1926-7, set in landscaped grounds.

### **1.2 Statutory assessment and Legislative Protection:**

The building is recorded in the Tipperary County Council Development Plan, Record of Protected Structures ref. no. TRPS-810.

The National Inventory of Architectural Heritage (ref. no. 22404006) has assessed the building as of regional importance with a date range of 1925-1930.

The building is described as;

Freestanding T-plan gable-fronted Catholic church, built 1926, with six-bay nave, three bay transepts, rectangular-plan apse and having sacristy to east. Pitched slate roof with decorative banding, having rendered eaves course and decorative detailing to upper gable front with bellcote. Roughcast rendered walls, smooth to front and plinths, with rendered buttresses to corners and between bays of elevations and having string course to gable front. Round-headed window openings with render block-and-start surrounds with stained glass. Main doorway in order arch opening with marble engaged columns and gabled top having triple-light window above and flanked by windows. Rose windows to transept gables. Timber battened doors with decorative strap hinges. Rendered octagonal-plan bellcote with arcaded openwork front and rear faces, partly supported on marble column resting on decorative corbel in turn forming keystone of triple-light window below, and having conical roof with dentils and topped by cross finial.

The appraisal notes;

Saint Mary's Church is a well-designed church, using a modern interpretation of traditional forms and details to create a building of significant architectural quality. It contains elements of artistic value, including the stained glass to the east window of 1928, possibly from the Harry Clarke studio.

The grotto to the south of the church is not within the curtilage of the church, this too is a protected structure, with NIAH reference no. 22404008.

## 2.0 Historical background

### 2.1 Cartographic record:

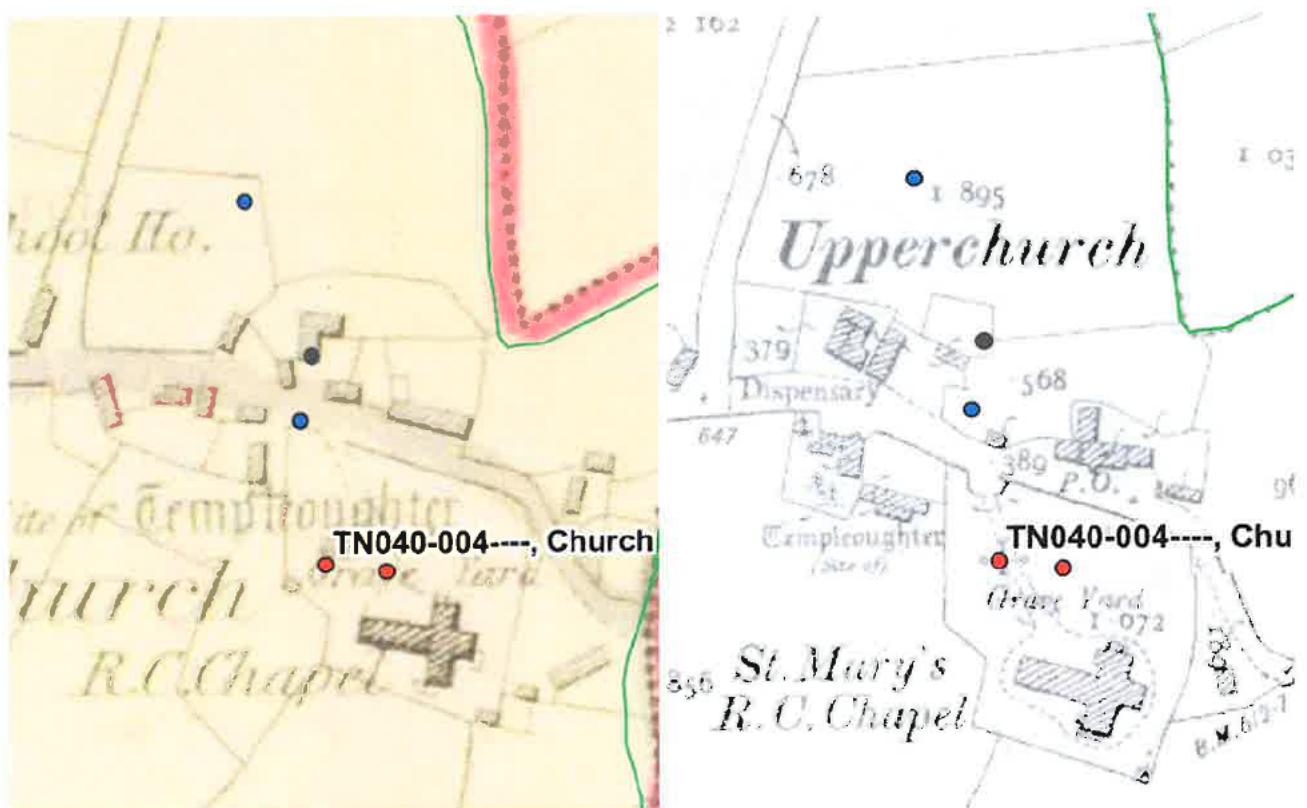


Fig. 1; LEFT: Extract from First edition of Ordnance Survey Map, c. 1840. RIGHT: Extract from 25' edition of Ordnance Survey Map, c. 1900.

The first edition of the Ordnance Survey map, published 1843, indicates the subject site as undeveloped, with St. Mary's church and graveyard to the south of the road and subject site. The site of the medieval 'Templeoughter' is noted as having been in the north-west of the graveyard.

The 25 inch to a mile edition of the Ordnance Survey map, dated 1889-1911, also indicates the subject site as undeveloped. The northern site boundary of the current church is indicated on the map.

## 2.2 Documentary record:

The former St. Mary's church (TN040-004) may be of medieval date, the surrounding graveyard has headstones dating to the early 18<sup>th</sup> century. It is understood that the church indicated on the 19<sup>th</sup> century Ordnance survey maps may have been located to the south-east of the earlier church. Parish records note the 19<sup>th</sup> century church was built during the pastorate of Fr. James Clancy P.P, in existence from c. 1800 to 1927, when it was replaced by the current church, the subject building.

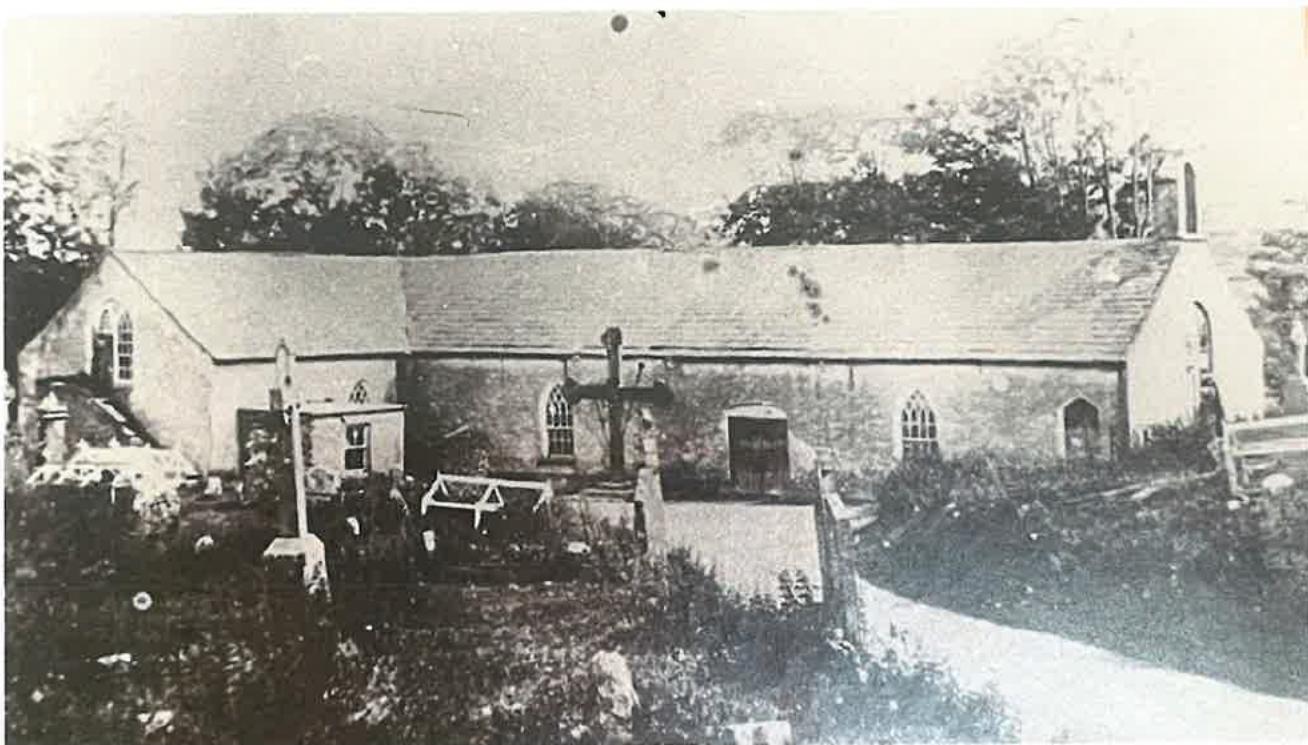


Fig. 2; Photograph of the former St. Mary's church, located in the current graveyard to the south of the present church. Photograph located in the current sacristy.

The subject building was constructed under the pastorate of Fr. Michael Hourigan P.P. in c. 1926-7. Fr. Michael is buried to the south of the subject building. An inscribed stone on the west gable of the building records the work commencing with the laying of the foundation stone by Dr. Harty, Archbishop of Cashel, on 26<sup>th</sup> September 1926, with J. O'Malley B.A.B.E. as Architect and Walsh Bros., as contractors.

Joseph O'Malley (1867 – 1933) was born in Murroe, Co. Limerick and graduated from Queen's College Cork in 1890 with a degree in Bachelor in Arts and Engineering. He acted as assistant County Surveyor for Limerick from 1900, engineer for Limerick Board of Guardians from 1901, engineer to Limerick no. 2 District Council in 1906 and as Architect to the Limerick Asylum from 1908.<sup>1</sup> O'Malley's works include

<sup>1</sup> Directory of Irish Biography.

those for the Catholic church, convent and domestic work in Limerick and surrounding counties. His son, Donogh O'Malley, was Minister for Education in the late 1960's, and his nephew was Desmond O'Malley, who was Minister of Justice from 1970-3 and a founder member of the Progressive Democrat political party.<sup>2</sup>

The subject building is recorded as the second church building in Ireland to be built of concrete<sup>3</sup>, perhaps due to O'Malley's engineering background, knowledge and experience of the material.

### **3.0 Survey of existing Building;**

#### **3.1; SITE:**

The site is approx. 4,150 sq.m. (1 acre) with the church located centrally, with the main entrance to the west off the public road, with a secondary entrance to the south via car parking off the public road. The area to the north, west and south-west of the church has well-maintained soft landscaping. The south provides car parking. There is a historic building to the south-east of the church, which may predate the church. There are three 20<sup>th</sup> century burials to the south of the church.

#### **3.2 BUILDING EXTERIOR:**

The church has a 'latin-cross' plan, with the main roof in an east-west direction, with north and south transepts off the nave, with the projecting apse to the east enclosed in a lower hipped roof. All roofs are finished in natural slate, with rendered masonry verges, eaves and fascias. All rainwater goods are non-ferrous metals, generally downpipes are original rectangular profile cast iron, gutters are replacement ogee profile extruded aluminium.

The walls are finished in painted render, both nap and dashed finishes, with stepped buttresses at each structural bay. The west gable has decorative render design, with a bellcote built off the gable wall completed with a conical stone roof. All windows are stained glass windows, with clear protective glazing externally and flush concrete cills and rendered quoins. There are concrete framed circular rose windows in both transept gable walls.

The sacristy is single storey with a hipped roof, built contemporaneously, and linking into the church. The doors and windows of the sacristy have been replaced with pvc framed replacement joinery.



*Photo 1; View of West façade and main entrance, from main road. Photo 2; View from south-west, looking at nave (left) and south transept (right).*

<sup>2</sup> Directory of Irish Architects 1720-1940.

<sup>3</sup> Directory of Irish Architects 1720-1940.



Photo 3; North façade of North transept. Photo 4; View from north-east, with sacristy to left, apse and nave to centre and north transept to right.

### 3.3; BUILDING INTERIOR:

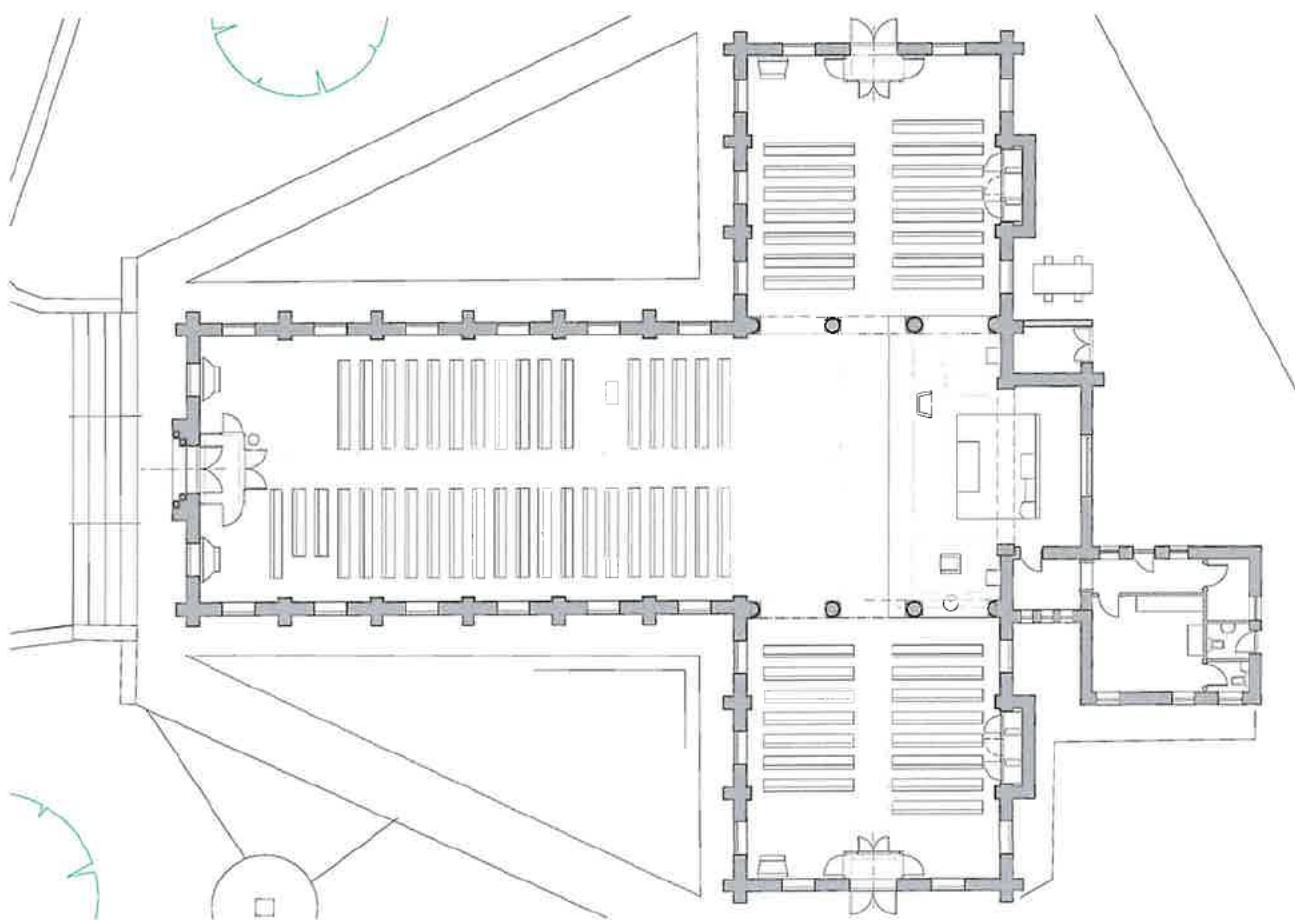


Fig. 3; Ground floor plan,

The building interior has the following elements / finishes;

Ceilings are stained and sealed timber clad barrel vaults, with one continuous north-south spanning vault over the nave and secondary east-west spanning vaults over the transepts. Each bay of the vault is defined by a timber truss spanning onto corbels at the springing points, projecting below the vault, with each vault bay further subdivided by moulded timber rails.

All walls are painted render, assumed to be sand-cement render to masonry walls, perhaps in-situ concrete. The transepts are separated from the nave with masonry columnar screens, with two freestanding columns supporting semi-circular arches on either side of the altar.

The floor appears to be concrete, with modern ceramic tile to the central walkways and porches. The nave is defined by timber floorboarding, perhaps fitted onto a concrete floor, or timber joists above a concrete sub-floor. The floor below the crossing, and in part of the south transept, is finished in modern carpet. The altar area is defined by a change in level, two steps higher than the main body of the church. The steps to the altar have modern ceramic tiles, however the main altar area retains good quality original ceramic tile mosaic work with decorative and inscriptive motifs.

The joinery consists of original glazed timber framed porches to the west, north and south. All windows are steel framed stained glass. The main east window behind the altar is a timber framed window, complete with decorative, figurative and artistic stained glass panels. This window is signed 'Earley. Co Dublin 1928', who were one of the three leading stained glass studios operating in Dublin in the early 20<sup>th</sup> century. The window is most likely the work of William Earley, who was the principal designer and cartoonist for the company from c. 1920-1940.

The altar is formed in carved white marble, the pulpit is also in marble and original to the church. There are other liturgical elements, such as masonry seat, fonts, which may post-date the construction of the church. The timber church pews are freestanding, some are historic and may be original to the church. The confessional areas are located in recesses on the east wall of the transepts, defined by stained and sealed timber joinery work. There are minor altar areas to the nave and transepts, these may be relatively modern. The stations of the cross are located in the nave and transepts, formed in painted and decorated timber.



Photo 5; Nave, looking west. Photo 6; Crossing and apse, looking east.



Photo 7; North transept, looking north. Photo 8; South transept, looking south.



Photo 9; Decorative stained glass panel to east window, by Earley & Co. Photo 10; Decorative mosaic flooring to altar.

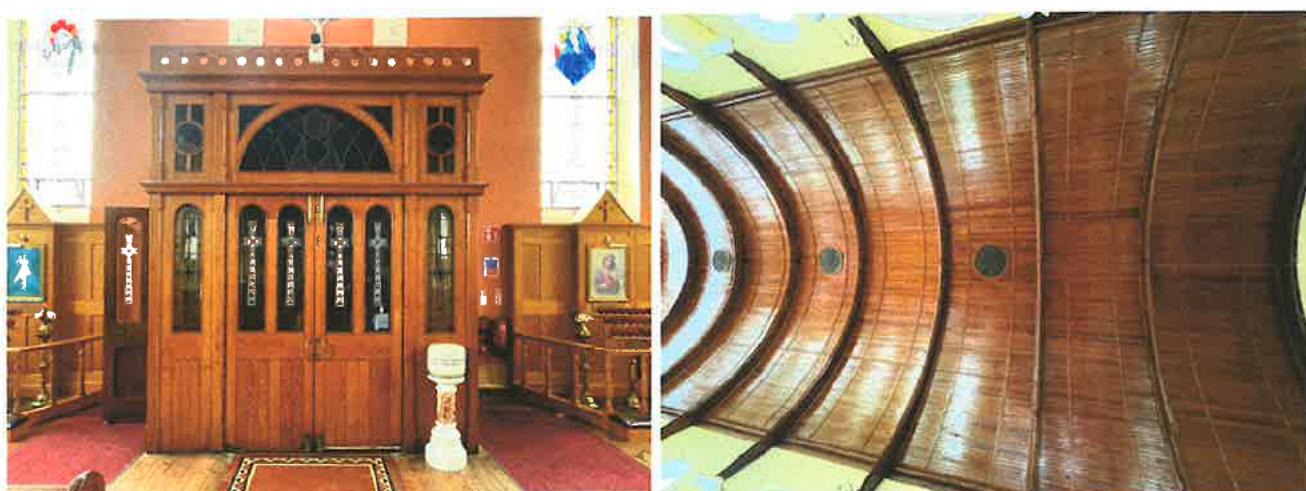


Photo 11; Main (west) entrance porch. Photo 12; Photo looking up at timber barrel vaulting to nave.

#### **4.0 Statement of significance;**

The building is a protected structure, built in 1926-7 as a Catholic church, and continues in that use, virtually unaltered.

The building was designed by Joseph O’Malley, engineer and architect, and may have been the second church in Ireland to have utilized concrete construction for its principal structural walls.

The stained glass window to the east is by Earley & Co., one the most renowned stained glass and church decorators operating in Ireland in the early 20<sup>th</sup> century.

The mosaic tiles to the altar are original and of historic and artistic significance.

The internal joinery consisting of internal porches, confessional boxes, pews and other church fittings are an integral part of the overall building design.

#### **5.0 Comment on the reports / building assessment**

##### **5.1 SECTION 57 DECLARATION:**

There was an application submitted to Tipperary County Council for a Section 57 Declaration in respect of the church, dated 11<sup>th</sup> June 2024, ref. no. S57/24/17.

The works envisaged in this application were;

- Repairs to church roof
- Investigate existing electrical system within church

The church has been inspected by the Local Authority, however the declaration has not yet been issued. Guidance has been provided by Tipperary County Council Conservation office, Mr. Eamon Hunter. It is considered that the documentation submitted with this Section 5 application, particularly the survey drawings and building record, may assist Tipperary County Council in the preparation of the Declaration.

##### **5.2 DRA ENGINEERS REPORT:**

DRA Consulting engineers undertook structural inspections of the building in April 2024, including inspections of the attic voids and investigative opening-up works externally at eaves level. DRA Consulting engineers then prepared a report dated 24<sup>th</sup> May 2024. The findings of the report can be summarized as;

- Roof valleys be replaced, to include new valley boards and replacement of defective timbers.
- Concerns noted on the structural condition of the bellcote, noting that intervention may be required.
- Extent of defective wallplates and base of rafters, particularly on the north façade, requires further investigation of roof condition, noting the bearing ends of the roof trusses.
- Further investigation of the ridge tiles, in terms of possible loss / slippage and potential health & safety risks.
- The report concludes in suggesting the re-slating of the roof and scaffolding of the building, to allow remedial works to the above items.

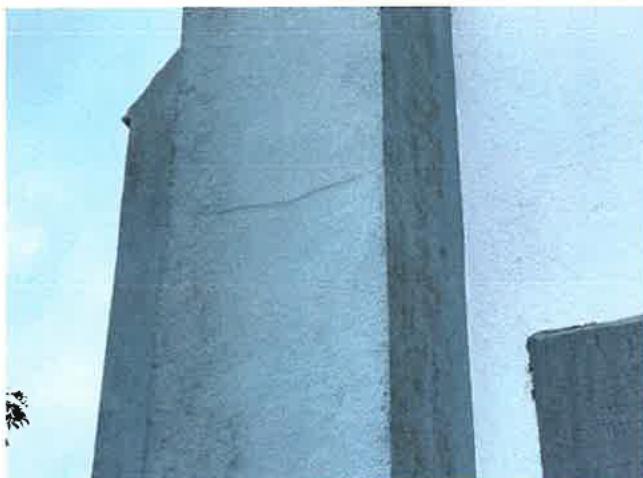
### 5.3 EMD ARCHITECTS INSPECTION:

There are a number of areas / elements noted at our inspection, that will require to be investigated further, and should be addressed in any future restoration, which can be summarized as follows;

- There is evidence of significant water ingress at the crossing of the nave and transepts, with damage to internal finishes.
- Defective rainwater goods.
- Defective external and internal render.
- Cracking to external walls.
- Minor concrete splaying at windows.
- Effective rainwater collection and disposal.
- Review of existing subsoil surface water drainage system.



*Photo 13; North side of entrance porch column, there is evidence of rusting to the base of the column, due to loss of concrete cover resulting in steel reinforcing rusting. Photo 14; Fracture in marble column at north side of entrance porch.*



*Photo 15; Cracking to render on buttress piers, these are evident throughout the building. Photo 16; There is a crack over the nave window on the west façade, which may be a source of water ingress.*



*Photo 17; There is evidence of water ingress internally, relating to this rainwater downpipe on the north wall of the nave. Photo 18; Damage to edge of roof slab over confessional box to north transept, due to the roof not being adequately weathered.*



*Photo 19; There is a significant crack to the gable wall over the apse roof on the west wall. Photo 20; There is evidence of water overflowing / leaking from the sacristy roof flashing / gutter onto the east wall of the apse.*



*Photo 21 & 22; Damage to concrete cill to window, perhaps due to metal tie-bars in concrete rusting and resulting on the concrete spalling / cracking.*



*Photo 23; Evidence of potentially bulging plaster over window head on north wall of nave. Photo 24; Evidence of previous repairs to render above window, north wall of nave.*



*Photo 25; The roof valley linings to the east facing pitch of south transept and nave roof appears to have been replaced, and that a gutter stop has been installed, perhaps to limit the rainwater flow, due to the gutter overflowing.. Photo 26; Evidence of previous repairs to south roof of sacristy.*



Photo 27; The area to the east of the sacristy and the south transept has three rainwater pipes discharging onto a concrete slab, with limited subsoil drainage. Photo 28; This roof slate has fallen from the west face of the south transept roof, it will have been damaged by falling, however the slate has been significantly weathered over time, with the nail holes weakened. This could be indicative of what may be expected if the entire roof was to be re-slated, with considerable slate replacement required.



Photo 29; Evidence of water ingress to east wall of south transept, near roof valley. Photo 30; Evidence of water ingress to east wall of apse, near roof valley.



Photo 31; Evidence of water ingress damage to column pilaster at junction of nave and west wall of north transept. Photo 32; Evidence of water ingress damage wall and skirting at junction of nave and west wall of north transept.



Photo 33; Evidence of water ingress to window on north wall of nave, adjacent to location of rainwater downpipe externally. Photo 34; Damage to lath & plaster wall in sacristy store.

## **6.0 Scope of remedial, repair and renewal works;**

EMD Architects prepared a report and outline costing for various repairs and restoration works. This was issued to the Parish Committee, and the scope of works listed below are considered to the works which are achievable in the short-term. The complete restoration of the church is the long-term goal of the Parish Committee, this is not achievable based on current funding. However, should funding be secured, the current works are the first phase of this intended restoration work. EMD Architects shall liaise with Tipperary County Council regarding all works, and obtain all necessary statutory approvals. At present, we seek a Section 5 declaration on the repair and renewal works listed below.

### **A. Repair / replacement of roof valleys; Note: to north-west and south-east valley junctions only**

- Erect 'tower' scaffolding in both north-west and south-east valley junctions, to allow inspection by architect / roofing contractor. Maintain scaffolding in place during course of the works.
- Carefully remove existing slates adjacent to valley gutters, sufficient to fully expose existing lead linings. Slates to be carefully removed and set aside for reinstatement.
- Allow for inspection of existing lead gutters by architect / roofing contractor. Carefully remove all existing lead work, to allow inspection of all timber valley boards. Existing lead to be set aside for possible re-use or salvage.
- Valley boards to be inspected, defective boarding and those affected by rot, to be removed and replaced in timber boarding to match original. Jack rafter and rafter ends to be inspected and recorded. Treat existing and replacement valley boarding with preservative, provide fleece isolating membrane on valley boarding.
- Defective timber rafter ends to be propped onto ceiling joists below, defective timbers cut out, with new 115x50 rafters either side, bolted through original rafter, with new rafter ends connected to existing jack rafter.
- All exposed existing and replacement timbers to be treated with preservatives.

- Replace entire valley with new Code 5 lead lining, laid to match existing method, ensure adequate over laps, rolled joints and that lead is carried over tilting fillets on upper end of the valley boarding. Treat leadwork with patination oil on completion.
- Reinstate original slates. Allow for providing and fitting new / salvaged Blue Bangor slates for any existing slate damaged / broken during removal. Replacement slates to be 600x300 Penrhyn, or similar, Blue Bangor natural slate, Country / Celtic grade, gauge min. 7 – 9mm in blue / purple heather colour and texture to closely match original, fixed to existing battens with copper slating nails.
- Existing configuration of metal gutters and downpipes at base of valley gutters to be recorded and assessed, and modified as required to improve efficient rainwater collection. Consider use of baffles in valley gutters to reduce water flow rates adjacent to eaves gutter.



Photo 35; Base of south-east valley gutter. Photo 36; Base of north-west valley gutter.

**A1. Repair replacement of north-east and south-west valleys:**

These valleys are not causing notable damage to the building, however they are the same age / construction methods as the other valleys which are currently allowing water ingress.

The currently available funding does not allow for the immediate replacement of these two valleys, however this work shall be included as an option in the proposed tender documents. For the purpose of this Section 5 submission, it should be assumed that this work may proceed in the near future.

**B. Repair to base of roof to north aisle / west of north transept:**

- Scaffold out entire north aisle and / west of north transept roof, 35 lin. metres, to create a working platform below eaves level, and to include providing roof access and handrail to west gable, both north and south roof pitches.
- Carefully remove 5 bottom rows of existing slates, stack and set aside for reuse – allow for removal of 600no. slates.

- Expose base of rafters, wall plate, trusses and ceiling joists. Provide adequate and effective temporary weather-proofing layers, that can be easily removed / reinstated, to adequately protect the building interior.
- All defective timber portions to be temporarily propped, as required, and removed. Sections of defective wall plate to be cut out and replaced with new hardwood wall plate to same dimensions slotted into place. Bottom of defective rafters to be temporarily propped off ceiling joists below, defective portions cut out, with new 115x50mm rafters, Strength Class C12, to either side of removed timber, bolted through existing rafter and birds-mouthed onto wall plate.
- All existing and replacement timbers to be treated with preservatives.
- Reinstate original slate, allow for replacing 50% (300 slates) with new 600x300 Penrhyn, or similar, Blue Bangor natural slate, Country / Celtic grade, gauge min. 7 – 9mm in blue / purple heather colour and texture to closely match original, fixed to existing battens with copper slating nails.

**C. Localised replacement of concrete slab and subsoil drainage, to west of south transept.**

- Carefully remove existing concrete slab / paving to junction of south transept and sacristy – 8 sq.m.
- Excavate for new drainage connections.
- Form 2no. new clayware gully traps, set and bedded in concrete, beneath existing rainwater downpipes.
- Form new A.J. (Armstrong Junction access chamber) on existing surface water drain, approx. 600mm deep, forming connections for new surface water connections.
- Reinstate ground with permeable finish, hardcore backfill finished with 50mm deep pea-gravel.
- Allow for cleaning out and inspecting 6no. existing rainwater gulleys – to be cleaned of all leaves / debris, rodded out and recorded. Existing surface water drain, running south from south of sacristy, to be inspected using CCTV inspection and record provided.



Photo 37; Existing concrete slab to be removed to investigate subsoil drainage, and replaced with permeable surface.  
Photo 38; Existing a.j. on surface water drainage system, form new a.j. 'up-stream' on existing drain.

**D: Replacement gutters and repair of downpipes:**

- Carefully remove existing extruded aluminium gutter from north aisle and / west of north transept roof, 33 lin. metres.
- Line and level, fit new 200x200 Alimasc, or similar cast aluminium ogee profile gutter, with all necessary cast aluminium gutter brackets and supports, with 2no. rectangular outlets inserted into existing cast iron downpipes. Preformed corner gutter at valley.
- Existing cast iron downpipes (2no.) to be inspected over full height, sealing of joints to be checked and pipes for physical damage, check and secure existing fixing brackets. Repairs to be undertaken on site, and broken portion to be removed off-site for repair by brazing or similar process. Provide temporary downpipes, if any original portions need to be removed off-site.



*Photo 38; Rainwater downpipe causing staining / water ingress, between window W.04 & 05. Photo 39; Interior damage to be cleaned down and reinstated.*

**D1; Repair to flashings on east side of west gable, inspection of bellcote:**

There is evidence of water ingress at attic level on the west gable. It is intended to provide access from the scaffolding to the north aisle, to allow repair of the existing lead flashings at the abutment of the nave roof and the west gable wall. This access will also allow the inspection of the bellcote.

**E; Repair to roofs of confessional boxes:**

- Carefully remove defective and spalled concrete from roof over Confessional boxes.
- Clean down concrete roof, clean down exposed concrete / reinforcing bar at edge of slab. Treat with selected sealant / rust inhibitor.
- Concrete repairs to ensure clean arris to roof edge.
- Entire concrete roof to be covered in selected single-ply roofing membrane, Sika / Trocal or similar, with drip flashing at base and lead cover flashing to wall at abutment of roofing membrane to wall.
- Provide 50mm half-round cast aluminium gutter and brackets, with 90 deg. corner to 50mm circular cast aluminium downpipe, with all necessary brackets and shoe to discharge over existing / new gulley.



Photo 40; Roof and wall of south transept confessional boxes. Photo 41; Detail of concrete to roof of south transept confessional boxes.

**F. Repair to water damaged internal finishes:**

- Clean down all internal finishes damaged by water ingress. Remove flaking paint / defective plaster skim.
- Carefully remove defective plaster.
- Carefully cutback portions of damaged stucco mouldings, for repair using stucco / gypsum plaster insitu, in profile and plaster mix to match existing.
- Prepare for decoration, re-decorate.



Photo 42; Damage to wall finishes. Photo 42; Damaged portion of stucco moulding.

The proposed remedial, renewal and repairs works are indicated on the attached drawings;

S5-01	Site plan	I:200 @ A3
S5-02	Ground floor plan	I:125 @ A3
S5-03	Roof plan	I:125 @ A3
S5-04	North Elevation	I:125 @ A3

S5-05	East Elevation	I:125 @ A3
S5-06	West Elevation	I:125 @ A3
S5-07	South Elevation	I:125 @ A3
S5-08	Section A-A	I:125 @ A3
S5-09	Section B-B	I:125 @ A3
S5-10	Section C-C	I:125 @ A3
S5-11	Section D-D	I:125 @ A3
S5-12	Section E-E	I:125 @ A3
(21)001	Valley detail	I:10 @ A4
(21)002	Eaves detail	I:10 @ A4
(21)003	Confession box roof detail	I:10 @ A4

## 7.0 Conclusion;

We consider that the proposed works consist of repairs and renewals, and will be undertaken by contractors who are experienced in working with protected structures, under the guidance of an accredited conservation architect.

The works are essential to ensure that the building is weather-tight and to extend the longevity of the building.

Further works shall be required to restore the building, subject to obtaining the required funding, and any works which may affect the significance or character of the protected structure will be discussed in detail with the Local Authority and the relevant statutory approvals obtained.

We make this application for a Section 5 decision, on the basis of the above undertakings.

Prepared by: Brendan Mc Evoy, MRAI, MUBC

Date: 19<sup>th</sup> November 2025





Comhairle Contae Thiobraid Árann  
Tipperary County Council

Comhairle Contae  
Thiobraid Árann,  
Oifigi Cathartha,  
Cluain Meala,  
Co. Thiobraid Árann  
Tipperary County Council,  
Civic Offices, Clonmel,  
Co. Tipperary  
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Date: 24<sup>th</sup> November 2025 Our Ref: S5/25/145 Civic Offices, Nenagh

Upperchurch/Drombane Parish Finance Committee  
C/O EMD Architects (Brendan McEvoy)  
107 Ludford Road  
Ballinteer  
Dublin 16

**Re: Application for a Section 5 Declaration** – Repair/ replacement of roof valleys, repair to base of north aisle/trancept roof, minor upgrade of sub-soil drainage, replacement of north aisle gutter/finishing's to west gable, repair to confessional box roofs and repair to water damaged internal finishes at Church of the Sacred Heart, Upperchurch, Thurles, Co Tipperary.

Dear Mr McEvoy,

I acknowledge receipt of your application for a Section 5 Declaration received on 21<sup>st</sup> November 2025, in connection with the above.

I wish to advise that you will be notified of a decision on your application in due course.

Yours sincerely

Siobhán Ryan  
for **Director of Services**

**TIPPERARY COUNTY COUNCIL**  
**Application for Declaration under Section 5**

Planning & Development Act 2000, as amended  
Planning & Development Regulations 2001, as amended

**Planning Ref.:** S5/25/145

**Applicant:** Upperchurch-Drombane Parish Finance Committee

**Development Address:** Church of The Sacred Heart, Upperchurch, Thurles

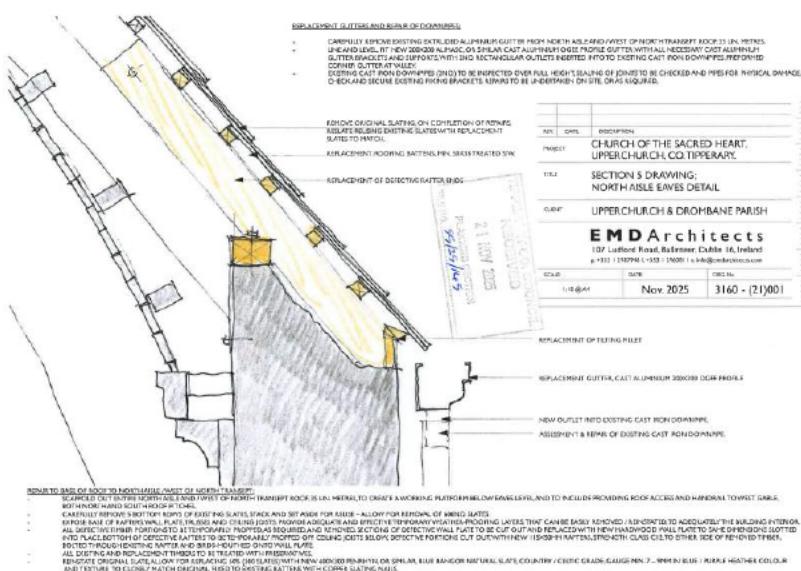
**Proposed Development:**

- a. Repair/replacement of roof valleys,
- b. Repair to base of north aisle/transect roof
- c. Minor upgrade of sub-soil drainage
- d. Replacement of north aisle gutter/finishing to west gable
- e. Repair to confessional box roofs
- f. Repair to water damaged internal finishes

## **1. GENERAL**

On the 21st of November, 2025 a request was made for a declaration under Section 5 of the Planning and Development Act, 2000 as amended as to whether the following is "development" and "exempt development":

- a. Repair/replacement of roof valleys,
- b. Repair to base of north aisle/transect roof
- c. Minor upgrade of sub-soil drainage
- d. Replacement of north aisle gutter/finishing to west gable
- e. Repair to confessional box roofs
- f. Repair to water damaged internal finishes



*Figure 1 Works proposed – replacement gutters and repair of downpipes*

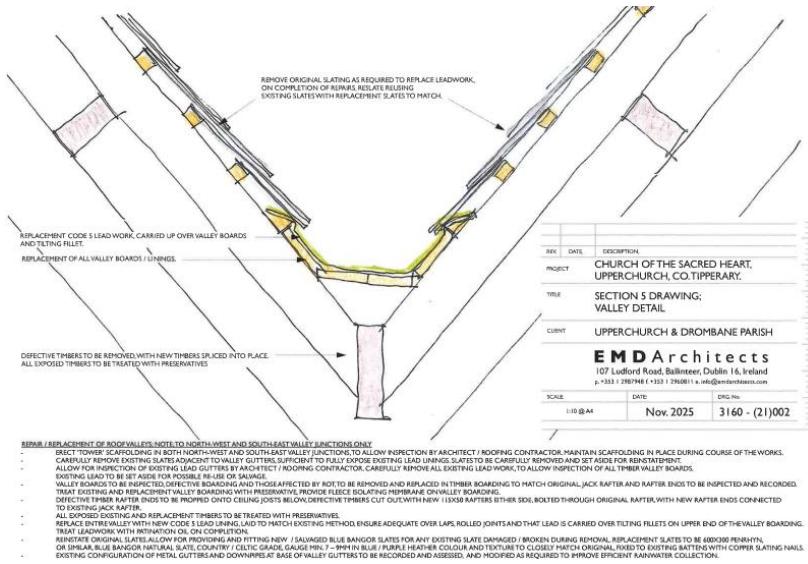


Figure 2 Works proposed – removal of original slating and replace leadwork

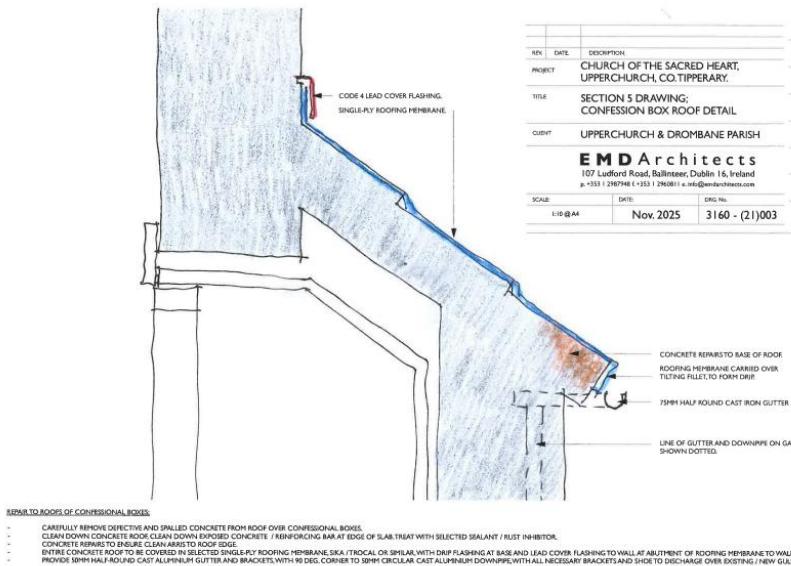


Figure 3 Works proposed – repair to roof of confessional boxes

The Declaration application was accompanied by an Architectural Heritage Impact Assessment Report prepared by EMD Architects.

## 2. STATUTORY PROVISION

The following statutory provisions are relevant to this referral case; Section 3 (1) of the Planning and Development Act 2000, as amended, states as follows:-

*“In this Act, ‘development’ means, except where the context otherwise requires, the carrying out of works on, in, over or under land or the making of any material change in the use of any structures or other land.”*

Section 2(1) of the Planning and Development Act, 2000, as amended, defines "works" as:-

“works” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

Section 4(1)(h) of the Act considers development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures; to be exempted development.

Section 57 (1) of the Planning and Development Act, 2000, as amended, notes that the carrying out of works to a protected structure, or a proposed protected structure, shall be exempted development only if those works would not materially affect the character of—

- (a) the structure, or
- (b) any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest.

## **Planning and Development Regulations 2001**

Article 6 of the Planning and Development Regulations 2001, as amended states:

### **Exempted Development.**

6. (1) Subject to article 9, development of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1.

Article 9 (1) (a) of the Planning and Development Regulations 2001, as amended sets out the instances where development, to which Article 6 relates, shall not be exempted development for the purposes of the Act if the carrying out of works would-

*(vii) consist of or comprise the excavation, alteration or demolition (other than peat extraction) of places, caves, sites, features or other objects of archaeological, geological, historical, scientific or ecological interest, the preservation, conservation or protection of which is an objective of a development plan or local area plan for the area in which the development is proposed or, pending the variation of a development plan or local area plan, or the making of a new development plan or local area plan, in the draft variation of the development plan or the local area plan or the draft development plan or draft local area plan,*

### **3. ASSESSMENT**

#### **a. Site Location**

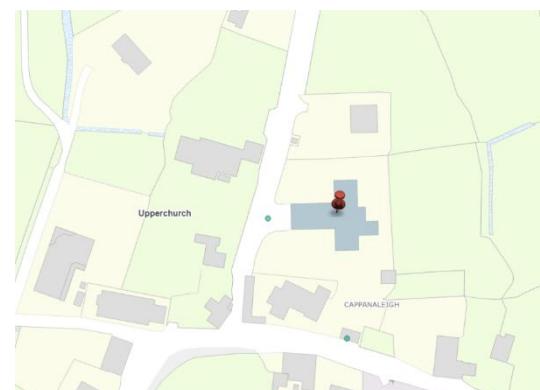
The proposed development relates to the Church of the Sacred Heart, Upperchurch.

The subject building is located in Upperchurch Village and is accessible from both the L4137 and the L8065, local roads.

The Church is listed on the Record of Protected Structures as set out in the Tipperary County Development Plan 2022 (RPS ref. TRPS810) and is also included on the NIAH ref no. 22404006.

The appraisal of the subject structure, which has a rating of Regional, as set out in the National Inventory of Architectural Heritage notes that;

Saint Mary's Church is a well-designed church, using a modern interpretation of traditional forms and details to create a building of significant architectural quality. It contains elements of artistic value, including the stained glass to the east window of 1928, possibly from the Harry Clarke studio.



**b. Relevant Planning History**

None recorded

**c. Assessment**

**A) “Is or is not Development”**

It is considered that the proposals constitute “works” as understood by the Planning and Development Act 2000, as amended. The proposals therefore constitute “development” within the meaning of the Planning and Development Act 2000, as amended.

**B) “Is or is not Exempted Development”**

When considering restoration works, the provisions of Section 4(1)(h) and Section 57 of the Planning and Development Act 2000, as amended, are most relevant. As set out in section 57, works to a protected structure are considered exempt if they do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure.

In relation to the present S5 application, and on the advice of the Conservation Officer, it is considered that the applicants haven't provided sufficient detail to demonstrate that the works proposed will be in accordance with best practice to provide durable protection of the areas of the roof that require lead detail to prevent water ingress. Given the critical importance of lead detailing to protect the notable significance of the building from endangerment, it is recommended that further information be requested as set out below:

- 1. Drawn detail, to supplement the existing detail drawings, demonstrating and describing the proposed best-practice specification and crucial dimensions all of the lead valley and abutment flashing proposed as part of works that a Section 5 declaration of exemption is sought for.*

*The Lead Sheet Training Academy (LSTA) provides best practice detail that should be applied in relation to:*

- lead soakers and abutment flashing required behind the west abutment parapet and bellcote,*
- construction of valley gutters*

*The applicant should be advised that proposals to relay lead valleys to match the existing valley method is not acceptable as these existing valleys were clearly defective. Information in relation to minimum lead lengths between fixings, overlap detail, width of valley and height of lead lining beneath the edge of slates should conform to the best practice methods explained comprehensively on pgs 58-62 of Rolled Lead Sheet: The Complete Manual (2023 edition) published by the LSTA.*

**C) Restrictions under Article 9**

In respect of those works proposed considered exempted development, it is considered that the restrictions on exempted development as set out under Article 9 apply may not apply, however the assessment will be informed by the further information recommended below.

**D) Requirement for Appropriate Assessment (AA) and Environmental Impact Assessment (EIA)**

**(i) Environmental Impact Assessment (EIA):**

The proposed development is not a type of development included for under Schedule 5 of the Planning and Development Regulations 2001, as amended.

**(ii) Appropriate Assessment (AA):**

The proposed development has been screened as to the requirement for AA and it has been determined that AA is not required.

**4. RECOMMENDATION**

It is recommended, pursuant to Section 5 (2) (b) of the Planning and Development Act to seek the following further information:

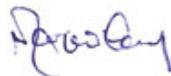
- 1. The applicant is requested to submit a drawn detail, to supplement the existing detail drawings, demonstrating and describing the proposed best-practice specification and crucial dimensions all of the lead valley and abutment flashing proposed as part of works that a Section 5 declaration of exemption is sought for.***

***The Lead Sheet Training Academy (LSTA) provides best practice detail that should be applied in relation to:***

- lead soakers and abutment flashing required behind the west abutment parapet and bellcote,***
- construction of valley gutters***

***The applicant is advised that the proposals to relay lead valleys to match the existing valley method is not acceptable as these existing valleys were clearly defective. Information in relation to minimum lead lengths between fixings, overlap detail, width of valley and height of lead lining beneath the edge of slates should conform to the best practice methods explained comprehensively on pgs 58-62 of Rolled Lead Sheet: The Complete Manual (2023 edition) published by the LSTA.***

Signed:  
District Planner

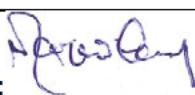


Date: 15.12.2025

Signed:  
Senior Executive Planner



Date: 15/12/2025

<b>EIA Pre-Screening</b> <b>Establishing if the proposal is a 'sub-threshold development':</b>	
Planning Register Reference:	S5.25.145
Development Summary:	As per planners report
Was a Screening Determination carried out under Section 176A-C?	<input type="checkbox"/> Yes, no further action required <input checked="" type="checkbox"/> No, Proceed to <b>Part A</b>
<b>A. Schedule 5 Part 1</b> – Does the development comprise a project listed in Schedule 5, <b>Part 1</b> , of the Planning and Development Regulations 2001 (as amended)? (Tick as appropriate)	
<input type="checkbox"/> Yes, specify class <u>[insert here]</u> Unknown as yet, EIA pre-screening will be completed on assessment of Further Information	<b>EIA is mandatory</b> No Screening required
<input type="checkbox"/> No	Proceed to <b>Part B</b>
<b>B. Schedule 5 Part 2</b> – Does the development comprise a project listed in Schedule 5, <b>Part 2</b> , of the Planning and Development Regulations 2001 (as amended) <b>and</b> does it meet/exceed the thresholds? (Tick as appropriate)	
<input type="checkbox"/> No, the development is not a project listed in Schedule 5, Part 2	<b>No Screening required</b>
<input type="checkbox"/> Yes the project is listed in Schedule 5, Part 2 <b>and</b> meets/exceeds the threshold, specify class (including threshold): <u>[specify class &amp; threshold here]</u>	<b>EIA is mandatory</b> No Screening required
<input type="checkbox"/> Yes the project is of a type listed <b>but</b> is <i>sub-threshold</i> : <u>[Unknown as yet, EIA prescreening will be completed on assessment of Further Information]</u>	Proceed to <b>Part C</b>
<b>C. If Yes</b> , has Schedule 7A information/screening report been submitted?	
<input type="checkbox"/> Yes, Schedule 7A information/screening report has been submitted by the applicant	<b>Screening Determination required</b>
<input type="checkbox"/> No, Schedule 7A information/screening report has not been submitted by the applicant	<b>Preliminary Examination required</b>
<b>District Planner:</b> 	<b>Date:</b> 15.12.2025

HABITATS DIRECTIVE APPROPRIATE ASSESSMENT (AA) SCREENING REPORT				
STEP 1. Description of the project/proposal and local site characteristics:				
(a) File Reference No:				S5.25.145
(b) Brief description of the project or plan:				As per planners report
€ Brief description of site characteristics:				As per planners report
(d) Relevant prescribed bodies consulted: e.g. DHLGH (NPWS), EPA, OPW				none
€ Response to consultation:				N/a
STEP 2. Identification of relevant Natura 2000 sites using Source-Pathway-Receptor model and compilation of information on Qualifying Interests and conservation objectives.				
European Site (code)	List of Qualifying Interest/Special Conservation Interest <sup>1</sup>	Distance from proposed development <sup>2</sup> (km)	Connections (Source-Pathway-Receptor)	Considered further in screening Y/N
Kilduff Devilsbit Mountain SAC 000934	<a href="https://www.npws.ie/protected-sites/sac/000934">https://www.npws.ie/protected-sites/sac/000934</a>	Less than 15km	None	No
Lower River Sui SAC 002137	<a href="https://www.npws.ie/protected-sites/sac/002137">https://www.npws.ie/protected-sites/sac/002137</a>	Less than 15km	None	No
Lower River Shannon SAC 002165	<a href="https://www.npws.ie/protected-sites/sac/002165">https://www.npws.ie/protected-sites/sac/002165</a>	Less than 15km	None	No
Bolingbrook Hill SAC 002124	<a href="https://www.npws.ie/protected-sites/sac/002124">https://www.npws.ie/protected-sites/sac/002124</a>	Less than 15km	None	No
Anglesey Road SAC 002125	<a href="https://www.npws.ie/protected-sites/sac/002125">https://www.npws.ie/protected-sites/sac/002125</a>	Less than 15km	None	No
Slievefelim to Silvermines Mountains SPA 004165	<a href="https://www.npws.ie/protected-sites/sac/004165">https://www.npws.ie/protected-sites/sac/004165</a>	Less than 15km	None	No
STEP 3. Assessment of Likely Significant Effects				
(a) Identify all potential direct and indirect impacts that may have an effect on the conservation objectives of a European site, taking into account the size and scale of the project under the following headings:				
Impacts:			Possible Significance of Impacts: (duration/magnitude etc.)	

Construction phase e.g.	None
<ul style="list-style-type: none"> <li>Vegetation clearance</li> <li>Demolition</li> <li>Surface water runoff from soil excavation/infill/landscaping (including borrow pits)</li> <li>Dust, noise, vibration</li> <li>Lighting disturbance</li> <li>Impact on groundwater/dewatering</li> <li>Storage of excavated/construction materials</li> <li>Access to site</li> <li>Pests</li> </ul>	
Operational phase e.g.	None
<ul style="list-style-type: none"> <li>Direct emission to air and water</li> <li>Surface water runoff containing contaminant or sediment</li> <li>Lighting disturbance</li> <li>Noise/vibration</li> <li>Changes to water/groundwater due to drainage or abstraction</li> <li>Presence of people, vehicles and activities</li> <li>Physical presence of structures (e.g. collision risks)</li> <li>Potential for accidents or incidents</li> </ul>	
In-combination/Other	None

**(b) Describe any likely changes to the European site:**

Examples of the type of changes to give consideration to include:

- Reduction or fragmentation of habitat area
- Disturbance to QI species
- Habitat or species fragmentation
- Reduction or fragmentation in species density
- Changes in key indicators of conservation status value (water or air quality etc.)
- Changes to areas of sensitivity or threats to QI
- Interference with the key relationships that define the structure or ecological function of the site

**(c) Are 'mitigation' measures necessary to reach a conclusion that likely significant effects can be ruled out at screening?**

Yes  No

**STEP 4. Screening Determination Statement**

**The assessment of significance of effects:**

Describe how the proposed development (alone or in-combination) is/is not likely to have significant effects on European site(s) in view of its conservation objectives.

Information insufficient to make an assessment, further information requested as set out. An appropriate assessment is not, therefore, required.

Conclusion:			
	Tick as Appropriate:	Recommendation:	
(i) It is clear that there is <b>no likelihood</b> of significant effects on a European site.	<input checked="" type="checkbox"/>	The proposal can be screened out: Appropriate assessment not required.	
(ii) It is <b>uncertain</b> whether the proposal will have a significant effect on a European site.	<input type="checkbox"/>	<input type="checkbox"/> Request further information to complete screening <input type="checkbox"/> Request NIS <input type="checkbox"/> Refuse planning permission	
(iii) <b>Significant effects</b> are likely.	<input type="checkbox"/>	<input type="checkbox"/> Request NIS <input type="checkbox"/> Refuse planning permission	
<b>Signature and Date of Recommending Officer:</b>		<b>Date:</b>	15.12.2025



Date: 16<sup>th</sup> December, 2025

Our Ref: S5/25/145

Civic Offices, Nenagh

Upperchurch/Drombane Parish Finance Committee  
C/O EMD Architects (Brendan McEvoy)  
107 Ludford Road  
Ballinteer  
Dublin 16

**Re: Application for a Section 5 Declaration –**

- a. Repair/replacement of roof valleys,
- b. Repair to base of north aisle/transept roof
- c. Minor upgrade of sub-soil drainage
- d. Replacement of north aisle gutter/finishing to west gable
- e. Repair to confessional box roofs
- f. Repair to water damaged internal finishes  
at Church of The Sacred Heart, Upperchurch, Thurles.

Dear Brendan,

I refer to an application received from you on 21<sup>st</sup> November, 2025 requesting a Declaration from this Planning Authority as to whether or not certain works constitute development within the meaning of the Planning and Development Act 2000, as amended.

**Further information is requested as follows;**

It is recommended to request the following further information pursuant to Section 5 (2) (b) of the Planning and Development Act 2000, as amended

The applicant is requested to submit a drawn detail, to supplement the existing detail drawings, demonstrating and describing the proposed best-practice specification and crucial dimensions all of the lead valley and abutment flashing proposed as part of works that a Section 5 declaration of exemption is sought for.

The Lead Sheet Training Academy (LSTA) provides best practice detail that should be applied in relation to:

- lead soakers and abutment flashing required behind the west abutment parapet and bellcote,
- construction of valley gutters

The applicant is advised that the proposals to relay lead valleys to match the existing valley method is not acceptable as these existing valleys were clearly defective. Information in relation to minimum lead lengths between fixings, overlap detail, width of valley and height of lead lining beneath the edge of slates should conform to the best practice methods explained comprehensively on pgs 58-62 of Rolled Lead Sheet: The Complete Manual (2023 edition) published by the LSTA.

**Further consideration of your request for a declaration cannot be considered until the above information is received.**

Yours sincerely

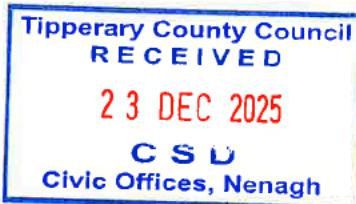
Siobhán Ryan  
for **Director of Services**

# EMD Architects

107 Ludford Road, Ballinteer, Dublin 16, Ireland

T +353 1 298 7948 F + 353 1 296 0811 W [www.emdarchitects.com](http://www.emdarchitects.com)

Tipperary County Council,  
Civic Offices,  
Nenagh,  
Co. Tipperary.



19<sup>th</sup> December, 2025.

**Re: Sacred Heart Church, Upperchurch, Co. Tipperary.  
Section 5 Declaration application**

Dear Sir / Madam,

Further to the request for additional information in respect of the application for a Section 5 declaration, dated 16<sup>th</sup> December 2025, we can advise as follows..

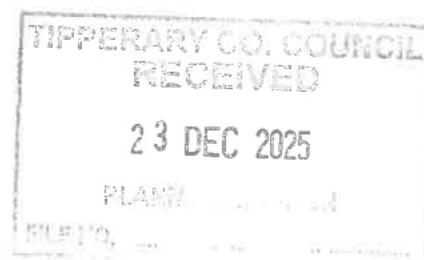
We can confirm that the best practice methods and guidelines, published by the Lead Sheet Training Academy, shall be employed. With regard to the lead valleys, the guidance of the best practice methods in terms of length of lead between fixings, overlap detail, width of valley and the extent of lead carried under the slating. With regard to the abutment to the west gable, the existing flashings will be reviewed in detail during the proposed works, and if defective, these shall be replaced, adhering to best practice methods advised by the Lead Sheet Training Academy.

Attached are two copies of revised drawing no. (21)002A, which indicate the intended roof valley detail.

↗ We trust this is sufficient to allow the application process to be completed.

Yours Faithfully,

Brendan Mc Evoy, MUBC, MRAI  
**EMD Architects**

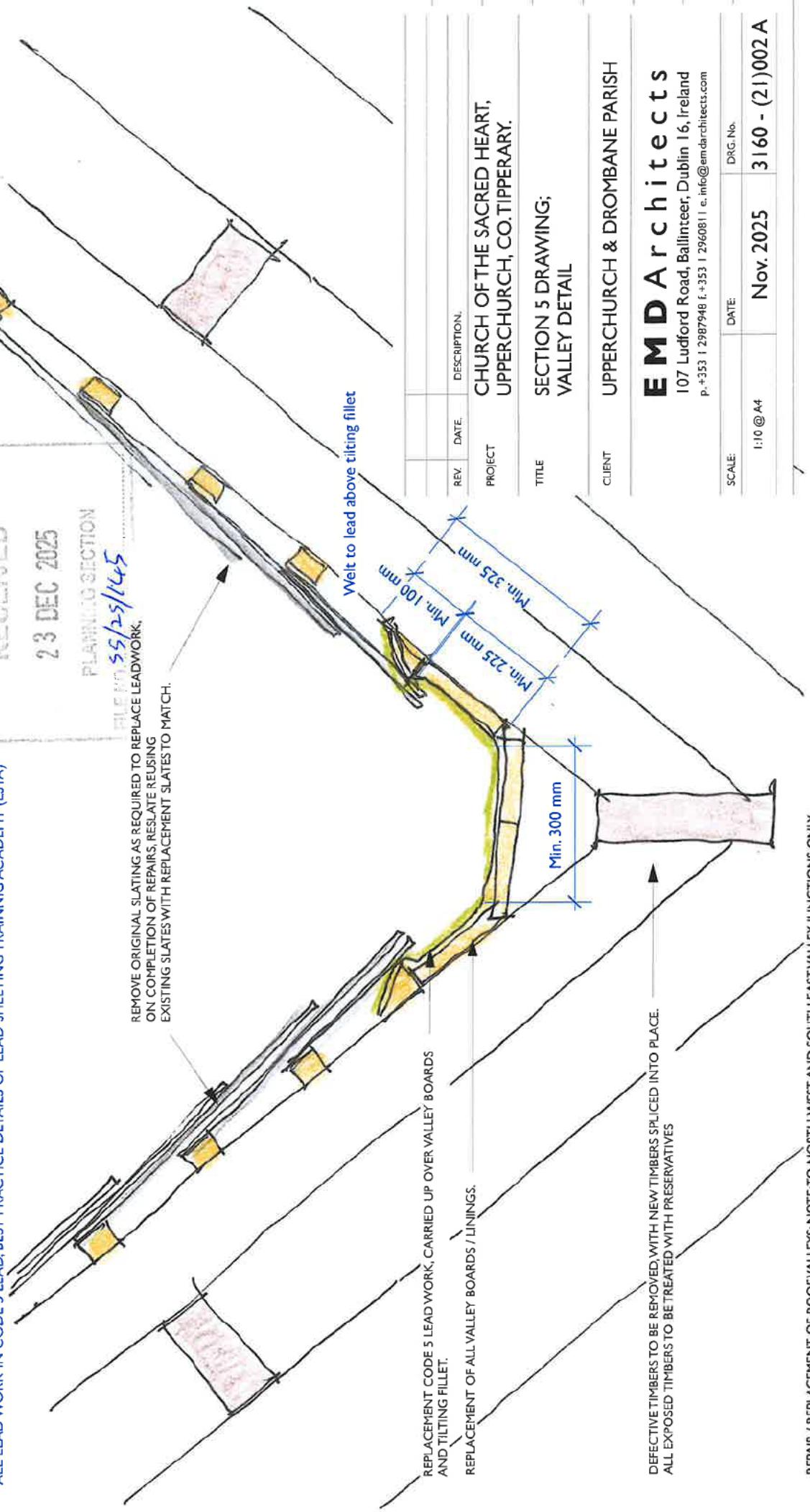


55/25/145

23 DEC 2025

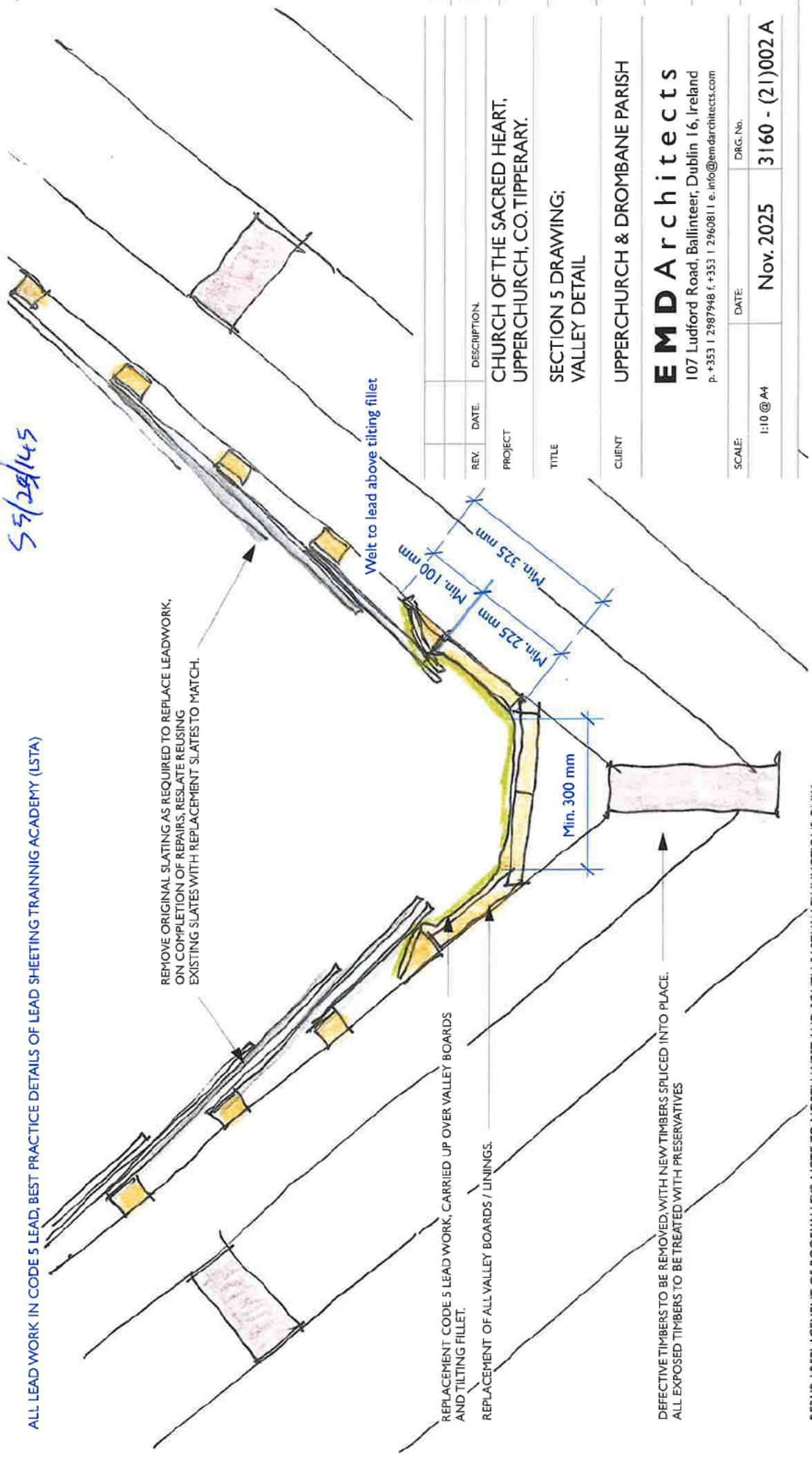
PLANNING SECTION

FILE NO. 55/25/145

REMOVE ORIGINAL SLATING AS REQUIRED TO REPLACE LEADWORK,  
ON COMPLETION OF REPAIRS, RESLATE REUSING  
EXISTING SLATES WITH REPLACEMENT SLATES TO MATCH.

REV.	DATE.	DESCRIPTION.
		CHURCH OF THE SACRED HEART, UPPERCHURCH, CO. TIPPERARY.
PROJECT		
TITLE	SECTION 5 DRAWING; VALLEY DETAIL	
CLIENT	UPPERCHURCH & DROMBANE PARISH	
SCALE:	1:10 @ A4	DATE: Nov. 2025
		DRG. No. 3160 - (21)002A

55/29/145





Comhairle Contae Thiobraid Árann  
Tipperary County Council

Comhairle Contae  
Thiobraid Árann,  
Oifigi Cathartha,  
Cluain Meala,  
Co. Thiobraid Árann  
Tipperary County Council,  
Civic Offices, Clonmel,  
Co. Tipperary  
E91 N512

Comhairle Contae  
Thiobraid Árann,  
Oifigi Cathartha,  
An tAonach,  
Co. Thiobraid Árann  
Tipperary County Council,  
Civic Offices, Nenagh,  
Co. Tipperary  
E45 A099

t 0818 06 5000/600  
e customerservice  
@tipperarycoco.ie  
tipperarycoco.ie

Date: 23<sup>rd</sup> December 2025 Our Ref: S5/25/145 Civic Offices, Nenagh

Upperchurch/Drombane Parish Finance Committee  
C/O EMD Architects (Brendan McEvoy)  
107 Ludford Road  
Ballinteer  
Dublin 16

**Re: Application for a Section 5 Declaration –**

- a. Repair/replacement of roof valleys,
- b. Repair to base of north aisle/transept roof
- c. Minor upgrade of sub-soil drainage
- d. Replacement of north aisle gutter/finishing to west gable
- e. Repair to confessional box roofs
- f. Repair to water damaged internal finishes  
at Church of The Sacred Heart, Upperchurch, Thurles.

Dear Brendan,

I acknowledge receipt of Further Information received on 23<sup>rd</sup> December 2025 in connection with the above.

I wish to advise that you will be notified of a decision on your application in due course.

Yours sincerely

Pauline Hendy  
for Director of Services

# Tipperary County Council

## Planning Report

**Planner:** Marion Carey

**From:** Eamonn Hunter, *Executive Architectural Conservation Officer (ACO)*

**Date of referral:** 12<sup>th</sup> January 2026

**Date of issue:** 12<sup>th</sup> January 2026

**Planning reference:** S5/25/145

**Applicant:** Upperchurch/Drombane Parish Finance Committee

**Development:** Repair/ Relacement of roof valleys. Repair to base of north aisle/trancept roof. Minor upgrade of sub-soil drainage. Replacement of north aisle gutter/finishings to west goble. Repair to confessional box roofs. Repair to Water damaged internal finishes

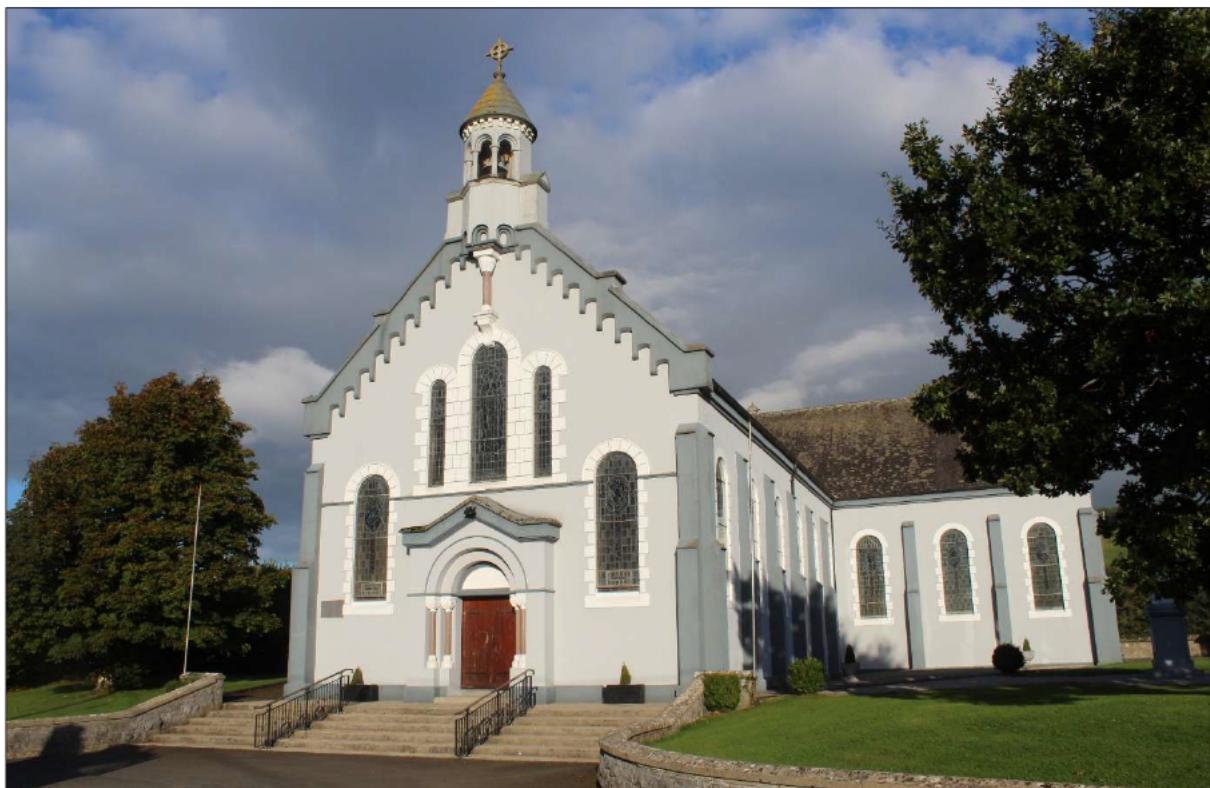
Core heritage data for planning reference S5/25/145	
<b>Site name and location</b>	Church of Sacred Heart, Cappanaleigh, Upperchurch E41V389
<b>Protected structure reference and relevant development plan</b>	TRPS810 <i>Tipperary County Development Plan 2022-2028</i>
<b>ACA</b>	n/a
<b>Archaeology</b>	Site is less than 100m from TN040-004---- (Church) and a number of other recorded archaeological sites.
<b>Site last inspected by ACO</b>	2 <sup>nd</sup> October 2024
<b>Conservation professional providing specification and/or impact assessment</b>	Brendan McEvoy <i>MUBC MRIAI accredited in conservation at grade 2</i>
<b>Project designer/agent</b>	EMD Architects Ballinteer, Dublin

### Review of site and proposed works

The ACO met with the parish priest at Upperchurch, Fr. Tony Ryan on site on 2<sup>nd</sup> October 2024 to undertake an inspection for a Section 57 declaration (ref. S57/24/17), which sought an exemption from planning for general repairs to the church roof and investigative works to the electrical system, lead valleys, bellcote, roof timbers, slates, ridge tiles and roof timbers including wall-plates on the subject site. Photographs of the site taken during that inspection are used to illustrate the relevant elements of works currently proposed as exempted development. The full declaration under Section 57 referred to above remains pending and will be issued in due course without prejudice to the current Section 5 application.

The current Section 5 application was accompanied by a well-detailed Architectural Heritage Impact Assessment (AHIA) (compiled by conservation accredited architect Brendan McEvoy on 19<sup>th</sup> November 2025) which considered the historic and legal context of the site and provided a detailed description, supplemented by drawings and photographs, as a useful architectural record of the existing site. The AHIA also references an engineer's inspection report in relation to the roof (prepared by DRA Consulting Engineers and dated 24<sup>th</sup> May 2024) and presents well-structured details of the more recent condition inspection undertaken by EMD Architects of other elements of the protected structure.

The proposed works as detailed in the AHIA dated 19<sup>th</sup> November 2025 and the additional detail provided with the annotated drawing, received in response to the request for further information received on 23<sup>rd</sup> December 2025, describe and demonstrate the appropriate approach, material use and methodology for necessary repair works to the subject site. The proposed supervision of works by a conservation-accredited architect, the engagement of a building contractor with appropriate experience in undertaking similar works to protected structures and the commitment to undertake lead flashing and valley detailing in accordance with best practice methods advised by the Lead Sheet Training Academy enable the works, as specified, to be considered appropriate repair and maintenance of the protected structure. They are not considered to materially affect its special architectural and historic character as defined by Section 57 of the Planning and Development Act 2000 (as amended) and therefore it is considered that the current works, exactly as proposed in material submitted with the current Section 5 declaration application, can be considered exempted development.



*Figure 1: West, main entrance elevation*



**Figure 2:** Existing roof valley on west side of north transept. Valley to be re-lined, lower courses of slates on both elevations shown in photograph above to be repaired, gutters to north elevation of nave (right side of photograph) to be replaced, rainwater gulley beneath existing downpipes to be cleaned and inspected for damage.



**Figure 3:** Lead abutment flashing to inside of west parapet and around base of bellcote to be inspected and repaired locally where necessary. Lower courses of slate on this north elevation of nave to be removed, repairs to timber roof structure carried out where necessary and natural slate to be reinstated. Existing extruded aluminium gutter here to be replaced with more durable cast aluminium



**Figure 4:** Existing roof valley on west side of south transept. Valley to be re-lined and slates to be re-fixed to match existing



**Figure 5:** Existing concrete roofs to confessional outshots on east elevation to be repaired and weathered with suitable modern roof covering.



**Figure 6:** Existing concrete ground surface to be removed from between south transept and sacristy with new stormwater gulleys to be installed directly beneath downpipes



*Figure 7: Moisture damage evident to painted plaster wall surfaces beneath base of defective lead valley on east side of south transept. Damaged internal surfaces to be made good using appropriate materials and surface finish to match existing.*

---



Eamonn Hunter

*Executive Architectural Conservation Officer*

12<sup>th</sup> January 2026

**TIPPERARY COUNTY COUNCIL**  
**Application for Declaration under Section 5**

Planning & Development Act 2000, as amended  
Planning & Development Regulations 2001, as amended

Planning Ref.: S5/25/145

**Applicant:** Upperchurch-Drombane Parish Finance Committee

**Development Address:** Church of the Sacred Heart, Upperchurch, Thurles, Co.Tipperary.

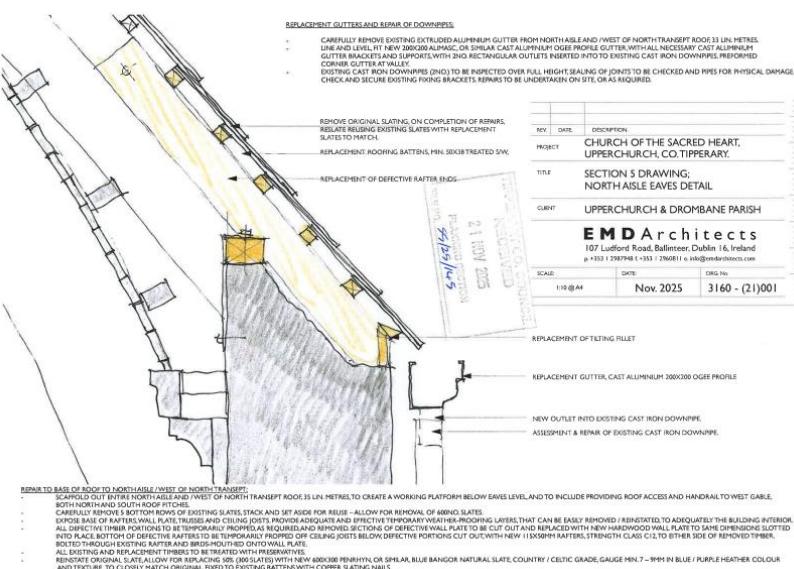
**Proposed Development:**

- a. Repair/replacement of roof valleys,
- b. Repair to base of north aisle/transect roof
- c. Minor upgrade of sub-soil drainage
- d. Replacement of north aisle gutter/finishing to west gable
- e. Repair to confessional box roofs
- f. Repair to water damaged internal finishes

## 1. GENERAL

On the 21st of November, 2025 a request was made for a declaration under Section 5 of the Planning and Development Act, 2000 as amended as to whether the following is "development" and "exempt development":

- a. Repair/replacement of roof valleys,
- b. Repair to base of north aisle/transect roof
- c. Minor upgrade of sub-soil drainage
- d. Replacement of north aisle gutter/finishing to west gable
- e. Repair to confessional box roofs
- f. Repair to water damaged internal finishes



*Figure 1 Works proposed – replacement gutters and repair of downpipes*

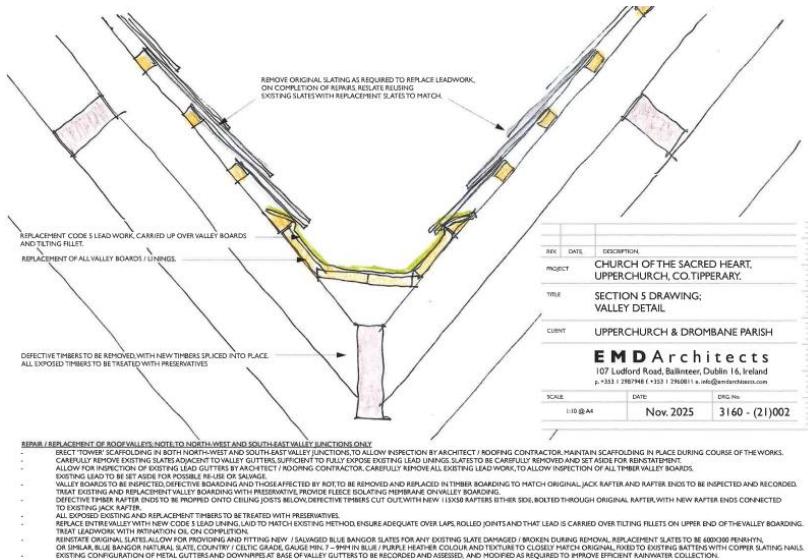


Figure 2 Works proposed – removal of original slating and replace leadwork

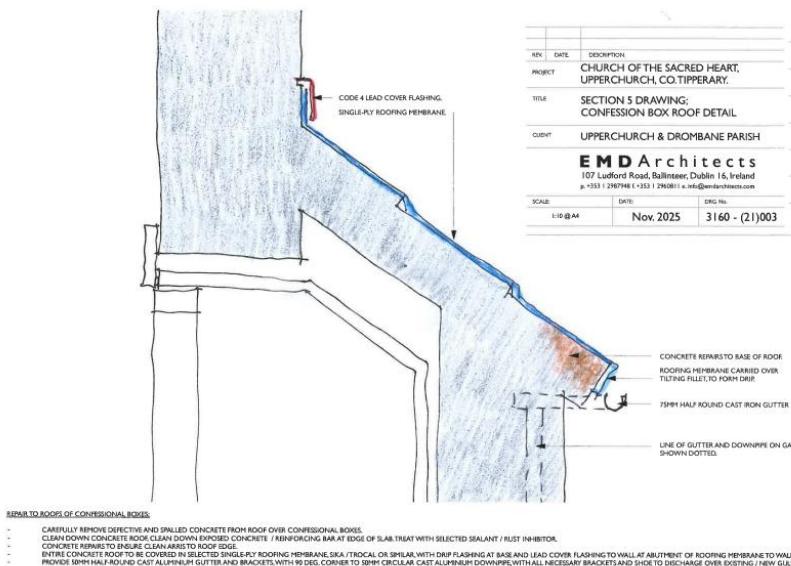


Figure 3 Works proposed – repair to roof of confessional boxes

The Declaration application was accompanied by an Architectural Heritage Impact Assessment Report prepared by EMD Architects.

## 2. STATUTORY PROVISION

The following statutory provisions are relevant to this referral case:

The following Statutory provisions are relevant to this referral case, Section 3 (1) of the Planning and Development Act 2000, as amended, states as follows:-

*“In this Act, ‘development’ means, except where the context otherwise requires, the carrying out of works on, in, over or under land or the making of any material change in the use of any structures or other land.”*

Section 2(1) of the Planning and Development Act, 2000, as amended, defines "works" as:-

“works” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

Section 4(1)(h) of the Act considers development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures; to be exempted development.

Section 57 (1) of the Planning and Development Act, 2000, as amended, notes that the carrying out of works to a protected structure, or a proposed protected structure, shall be exempted development only if those works would not materially affect the character of—

- (a) the structure, or
- (b) any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest.

## **Planning and Development Regulations 2001**

Article 6 of the Planning and Development Regulations 2001, as amended states:

### **Exempted Development.**

6. (1) Subject to article 9, development of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1.

Article 9 (1) (a) of the Planning and Development Regulations 2001, as amended sets out the instances where development, to which Article 6 relates, shall not be exempted development for the purposes of the Act if the carrying out of works would-

*(vii) consist of or comprise the excavation, alteration or demolition (other than peat extraction) of places, caves, sites, features or other objects of archaeological, geological, historical, scientific or ecological interest, the preservation, conservation or protection of which is an objective of a development plan or local area plan for the area in which the development is proposed or, pending the variation of a development plan or local area plan, or the making of a new development plan or local area plan, in the draft variation of the development plan or the local area plan or the draft development plan or draft local area plan,*

### **3. ASSESSMENT**

#### **a. Site Location**

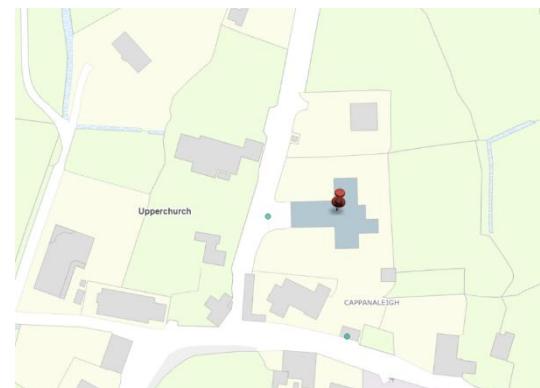
The proposed development relates to the Church of the Sacred Heart, Upperchurch.

The subject building is located in Upperchurch Village and is accessible from both the L4137 and the L8065, local roads.

The Church is listed on the Record of Protected Structures as set out in the Tipperary County Development Plan 2022 (RPS ref. TRPS810) and is also included on the NIAH ref no. 22404006.

The appraisal of the subject structure, which has a rating of Regional, as set out in the National Inventory of Architectural Heritage notes that;

Saint Mary's Church is a well-designed church, using a modern interpretation of traditional forms and details to create a building of significant architectural quality. It contains elements of artistic value, including the stained glass to the east window of 1928, possibly from the Harry Clarke studio.



***b. Relevant Planning History***

None recorded

***c. Assessment***

**A) "Is or is not Development"**

It is considered that the proposals constitute "works" as understood by the Planning and Development Act 2000, as amended. The proposals therefore constitute "development" within the meaning of the Planning and Development Act 2000, as amended.

**B) "Is or is not Exempted Development"**

When considering restoration works, the provisions of Section 4(1)(h) and Section 57 of the Planning and Development Act 2000, as amended, are most relevant. As set out in section 57, works to a protected structure are considered exempt if they do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure.

In relation to the present S5 application, and on the advice of the Conservation Officer, it is considered that the applicants haven't provided sufficient detail to demonstrate that the works proposed will be in accordance with best practice to provide durable protection of the areas of the roof that require lead detail to prevent water ingress. Given the critical importance of lead detailing to protect the notable significance of the building from endangerment, it is recommended that further information be requested as set out below:

- 1. Drawn detail, to supplement the existing detail drawings, demonstrating and describing the proposed best-practice specification and crucial dimensions all of the lead valley and abutment flashing proposed as part of works that a Section 5 declaration of exemption is sought for.*

*The Lead Sheet Training Academy (LSTA) provides best practice detail that should be applied in relation to:*

- lead soakers and abutment flashing required behind the west abutment parapet and bellcote,*
- construction of valley gutters*

*The applicant should be advised that proposals to relay lead valleys to match the existing valley method is not acceptable as these existing valleys were clearly defective. Information in relation to minimum lead lengths between fixings, overlap detail, width of valley and height of lead lining beneath the edge of slates should conform to the best practice methods explained comprehensively on pgs 58-62 of Rolled Lead Sheet: The Complete Manual (2023 edition) published by the LSTA.*

**C) Restrictions under Article 9**

In respect of those works proposed considered exempted development, it is considered that the restrictions on exempted development as set out under Article 9 apply may not apply, however the assessment will be informed by the further information recommended below.

**D) Requirement for Appropriate Assessment (AA) and Environmental Impact Assessment (EIA)**

***(i) Environmental Impact Assessment (EIA):***

The proposed development is not a type of development included for under Schedule 5 of the Planning and Development Regulations 2001, as amended.

**(ii) Appropriate Assessment (AA):**

The proposed development has been screened as to the requirement for AA and it has been determined that AA is not required.

**4. RECOMMENDATION**

It is recommended, pursuant to Section 5 (2) (b) of the Planning and Development Act to seek the following further information:

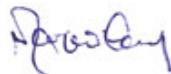
- 1. The applicant is requested to submit a drawn detail, to supplement the existing detail drawings, demonstrating and describing the proposed best-practice specification and crucial dimensions all of the lead valley and abutment flashing proposed as part of works that a Section 5 declaration of exemption is sought for.***

***The Lead Sheet Training Academy (LSTA) provides best practice detail that should be applied in relation to:***

- lead soakers and abutment flashing required behind the west abutment parapet and bellcote,***
- construction of valley gutters***

***The applicant is advised that the proposals to relay lead valleys to match the existing valley method is not acceptable as these existing valleys were clearly defective. Information in relation to minimum lead lengths between fixings, overlap detail, width of valley and height of lead lining beneath the edge of slates should conform to the best practice methods explained comprehensively on pgs 58-62 of Rolled Lead Sheet: The Complete Manual (2023 edition) published by the LSTA.***

Signed:  
District Planner



Date: 15.12.2025

Signed:  
Senior Executive Planner



Date: 15/12/2025

## **1. ASSESSMENT OF FURTHER INFORMATION**

Further information was requested under Section 5(2)(b) of the Planning and Development Act, 2000 (as amended) from the applicant on 16.12.2025 (in italics below) and a response was received on 23.12.2025 as set out below.

*It is recommended to request the following further information pursuant to Section 5 (2) (b) of the Planning and Development Act 2000, as amended*

*The applicant is requested to submit a drawn detail, to supplement the existing detail drawings, demonstrating and describing the proposed best-practice specification and crucial dimensions all of the lead valley and abutment flashing proposed as part of works that a Section 5 declaration of exemption is sought for.*

*The Lead Sheet Training Academy (LSTA) provides best practice detail that should be applied in relation to:*

- *lead soakers and abutment flashing required behind the west abutment parapet and bellcote,*
- *construction of valley gutters*

*The applicant is advised that the proposals to relay lead valleys to match the existing valley method is not acceptable as these existing valleys were clearly defective. Information in relation to minimum lead lengths between fixings, overlap detail, width of valley and height of lead lining beneath the edge of slates should conform to the best practice methods explained comprehensively on pgs 58-62 of Rolled Lead Sheet: The Complete Manual (2023 edition) published by the LSTA.*

**The applicant submitted detailed drawings demonstrating and describing the proposed lead valley, lining, abutment flashing etc as requested. The report of the Conservation Officer confirms that the information received describes and demonstrates the appropriate approach, material use and methodology for necessary repair works to the subject site. The proposed supervision of works by a conservation-accredited architect, the engagement of a building contractor with appropriate experience in undertaking similar works to protected structures and the commitment to undertake lead flashing and valley detailing in accordance with best practice methods advised by the Lead Sheet Training Academy enable the works, as specified, to be considered appropriate repair and maintenance of the protected structure.**

**The report further confirms that the proposed works are not considered to materially affect its special architectural and historic character as defined by Section 57 of the Planning and Development Act 2000 (as amended) and therefore it is considered that the current works, as proposed in material submitted with the current Section 5 declaration application, can be considered exempted.**

## **2. RECOMMENDATION**

A question has arisen as to whether or not the following works to Church of the Sacred Heart, Upperchurch, Thurles, Co.Tipperary constitutes development and if so, whether same constitutes exempted development:

- a. Repair/replacement of roof valleys,
- b. Repair to base of north aisle/trancept roof
- c. Minor upgrade of sub-soil drainage
- d. Replacement of north aisle gutter/finishing to west gable
- e. Repair to confessional box roofs
- f. Repair to water damaged internal finishes

**AND WHEREAS** Tipperary County Council, in considering this referral, had regard particularly to

- (a) Sections 2, 3 & 4 of the Planning and Development Act 2000 (as amended)
- (b) Section 4 (1) (h) of the Planning and Development Act 2000 (as amended)
- (c) Section 57 (1) of the Planning and Development Act 2000 (as amended)

**AND WHEREAS** Tipperary County Council has concluded that –

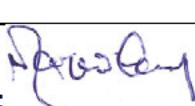
It is concluded that the proposed works as detailed in the application drawings and details including the supporting Architectural Heritage Impact Assessment report received on 24.11.2025 and as amended by the further information received on 23.12.2025 constitutes development within the meaning of the Planning and Development Act 2000, as amended and **is exempted development.**

Signed:   
District Planner

Date: 13.01.2026

Signed:   
Senior Executive Planner

Date: 14/1/2026

<b>EIA Pre-Screening</b> <b>Establishing if the proposal is a 'sub-threshold development':</b>	
Planning Register Reference:	S5.25.145
Development Summary:	As per planners report
Was a Screening Determination carried out under Section 176A-C?	<input type="checkbox"/> Yes, no further action required <input checked="" type="checkbox"/> No, Proceed to <b>Part A</b>
<b>A. Schedule 5 Part 1</b> – Does the development comprise a project listed in Schedule 5, <b>Part 1</b> , of the Planning and Development Regulations 2001 (as amended)? (Tick as appropriate)	
<input type="checkbox"/> Yes, specify class <u>[insert here]</u> Unknown as yet, EIA pre-screening will be completed on assessment of Further Information	<b>EIA is mandatory</b> No Screening required
<input type="checkbox"/> No	Proceed to <b>Part B</b>
<b>B. Schedule 5 Part 2</b> – Does the development comprise a project listed in Schedule 5, <b>Part 2</b> , of the Planning and Development Regulations 2001 (as amended) <b>and</b> does it meet/exceed the thresholds? (Tick as appropriate)	
<input type="checkbox"/> No, the development is not a project listed in Schedule 5, Part 2	No Screening required
<input type="checkbox"/> Yes the project is listed in Schedule 5, Part 2 <b>and</b> meets/exceeds the threshold, specify class (including threshold): <u>[specify class &amp; threshold here]</u>	<b>EIA is mandatory</b> No Screening required
<input type="checkbox"/> Yes the project is of a type listed <b>but</b> is <i>sub-threshold</i> : <u>[Unknown as yet, EIA prescreening will be completed on assessment of Further Information]</u>	Proceed to <b>Part C</b>
<b>C. If Yes</b> , has Schedule 7A information/screening report been submitted?	
<input type="checkbox"/> Yes, Schedule 7A information/screening report has been submitted by the applicant	<b>Screening Determination required</b>
<input type="checkbox"/> No, Schedule 7A information/screening report has not been submitted by the applicant	<b>Preliminary Examination required</b>
<b>District Planner:</b> 	<b>Date:</b> 13.01.2026

HABITATS DIRECTIVE APPROPRIATE ASSESSMENT (AA) SCREENING REPORT							
STEP 1. Description of the project/proposal and local site characteristics:							
STEP 2. Identification of relevant Natura 2000 sites using Source-Pathway-Receptor model and compilation of information on Qualifying Interests and conservation objectives.							
(a) File Reference No:		S5.25.145					
(b) Brief description of the project or plan:		As per planners report					
€ Brief description of site characteristics:		As per planners report					
(d) Relevant prescribed bodies consulted: e.g. DHLGH (NPWS), EPA, OPW		none					
€ Response to consultation:		N/a					
European Site (code)							
List of Qualifying Interest/Special Conservation Interest <sup>1</sup>							
Distance from proposed development <sup>2</sup> (km)							
Kilduff Devilsbit Mountain SAC 000934		Less than 15km					
Lower River Sui SAC 002137		Less than 15km					
Lower River Shannon SAC 002165		Less than 15km					
Bolingbrook Hill SAC 002124		Less than 15km					
Anglesey Road SAC 002125		Less than 15km					
Slievefelim to Silvermines Mountains SPA 004165		Less than 15km					
STEP 3. Assessment of Likely Significant Effects							
(a) Identify all potential direct and indirect impacts that may have an effect on the conservation objectives of a European site, taking into account the size and scale of the project under the following headings:							
Impacts:			Possible Significance of Impacts:				

	(duration/magnitude etc.)
Construction phase e.g. <ul style="list-style-type: none"> <li>• Vegetation clearance</li> <li>• Demolition</li> <li>• Surface water runoff from soil excavation/infill/landscaping (including borrow pits)</li> <li>• Dust, noise, vibration</li> <li>• Lighting disturbance</li> <li>• Impact on groundwater/dewatering</li> <li>• Storage of excavated/construction materials</li> <li>• Access to site</li> <li>• Pests</li> </ul>	None
Operational phase e.g. <ul style="list-style-type: none"> <li>• Direct emission to air and water</li> <li>• Surface water runoff containing contaminant or sediment</li> <li>• Lighting disturbance</li> <li>• Noise/vibration</li> <li>• Changes to water/groundwater due to drainage or abstraction</li> <li>• Presence of people, vehicles and activities</li> <li>• Physical presence of structures (e.g. collision risks)</li> <li>• Potential for accidents or incidents</li> </ul>	None
In-combination/Other	None

**(b) Describe any likely changes to the European site:**

Examples of the type of changes to give consideration to include:

- Reduction or fragmentation of habitat area
- Disturbance to QI species
- Habitat or species fragmentation
- Reduction or fragmentation in species density
- Changes in key indicators of conservation status value (water or air quality etc.)
- Changes to areas of sensitivity or threats to QI
- Interference with the key relationships that define the structure or ecological function of the site

None

**(c) Are 'mitigation' measures necessary to reach a conclusion that likely significant effects can be ruled out at screening?**

Yes  No

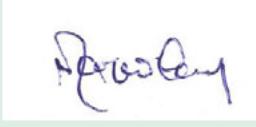
**STEP 4. Screening Determination Statement**

**The assessment of significance of effects:**

Describe how the proposed development (alone or in-combination) is/is not likely to have significant effects on European site(s) in view of its conservation objectives.

Information insufficient to make an assessment, further information requested as set out. An appropriate assessment is not, therefore, required.

**Conclusion:**

	<b>Tick as Appropriate:</b>	<b>Recommendation:</b>
(i) It is clear that there is <b>no likelihood</b> of significant effects on a European site.	<input checked="" type="checkbox"/>	The proposal can be screened out: Appropriate assessment not required.
(ii) It is <b>uncertain</b> whether the proposal will have a significant effect on a European site.	<input type="checkbox"/>	<input type="checkbox"/> Request further information to complete screening <input type="checkbox"/> Request NIS <input type="checkbox"/> Refuse planning permission
(iii) <b>Significant effects</b> are likely.	<input type="checkbox"/>	<input type="checkbox"/> Request NIS <input type="checkbox"/> Refuse planning permission
<b>Signature and Date of Recommending Officer:</b>		<b>Date:</b> 13.01.2026

Original

**TIPPERARY COUNTY COUNCIL**

**DELEGATED EMPLOYEE'S ORDER**

File Ref: **S5/25/145** Delegated Employee's Order No: \_\_\_\_\_

**SUBJECT: Section 5 Declaration**

I, Brian Beck, Director of Services, Tipperary County Council, by virtue of the powers delegated to me in accordance with the provisions of Section 154 of the Local Government Act 2001, as amended by Schedule 1, Part 1 of the Local Government Reform Act 2014 under Chief Executive's Order No. 44188 dated 3<sup>rd</sup> October, 2025, hereby order that pursuant to the provisions of the Planning and Development Act 2000, as amended, that an application under Section 5 from Upperchurch/Drombane Parish Finance Committee, C/O EMD Architects (Brendan McEvoy), 107 Ludford Road, Ballinteer, Dublin 16, re: a) Repair/replacement of roof valleys, b) Repair to base of north aisle/trancept roof, c) Minor upgrade of sub-soil drainage, d) Replacement of north aisle gutter/finishing to west gable, e) Repair to confessional box roofs, f) Repair to water damaged internal finishes, at Church of the Sacred Heart, Upperchurch, Thurles, Co. Tipperary, is development and is exempted development.

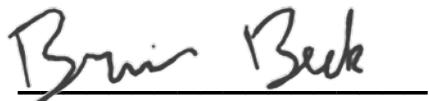
**AND WHEREAS** Tipperary County Council, in considering this referral, had regard particularly to –

- (a) Sections 2, 3 & 4 of the Planning and Development Act 2000 (as amended)
- (b) Section 4 (1) (h) of the Planning and Development Act 2000 (as amended)
- (c) Section 57 (1) of the Planning and Development Act 2000 (as amended)

**AND WHEREAS** Tipperary County Council has concluded that –

It is concluded that the proposed works as detailed in the application drawings and details including the supporting Architectural Heritage Impact Assessment report received on 24.11.2025 and as amended by the further information received on 23.12.2025 constitutes development within the meaning of the Planning and Development Act 2000, as amended and **is exempted development.**

Signed:



**Brian Beck**  
**Director of Services**

**Date: 15/01/2026**



Date: 15<sup>th</sup> January, 2026

Our Ref: S5/25/145

Civic Offices, Nenagh

Upperchurch Drombane Parish Finance Committee  
C/O EMD Architects  
Brendan McEvoy  
107 Ludford Rd  
Ballinteer  
Dublin 16  
D16 C422

**Re: Declaration under Section 5 of the Planning and Development Act 2000, as amended.**

Dear Sir/Madam,

I refer to your application for a Section 5 Declaration received on 21<sup>st</sup> November, 2025, and Further Information received on 23<sup>rd</sup> December, 2025 in relation to the following proposed works:

- a) Repair/replacement of roof valleys,
- b) Repair to base of north aisle/trancept roof
- c) Minor upgrade of sub-soil drainage
- d) Replacement of north aisle gutter/finishing to west gable
- e) Repair to confessional box roofs
- f) Repair to water damaged internal finishes

at Church of the Sacred Heart, Upperchurch, Thurles, Co. Tipperary

**WHEREAS** a question has arisen as to whether the proposed development is or is not exempted development:

**AND WHEREAS** Tipperary County Council, in considering this referral, had regard particularly to –

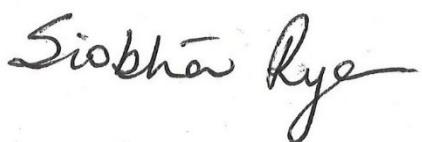
- (a) Sections 2, 3 & 4 of the Planning and Development Act 2000 (as amended)
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It is concluded that the proposed works as detailed in the application drawings and details including the supporting Architectural Heritage Impact Assessment report received on 24.11.2025 and as amended by the further information received on 23.12.2025 constitutes development within the meaning of the Planning and Development Act 2000, as amended and **is exempted development.**

**NOTE:** Any person issued with a Declaration of a Planning Authority may refer the Declaration for review to An Coimisiún Pleanála, 64 Marlborough Street, Dublin 1, within four (4) weeks of the date of issue of the Declaration and on payment of the prescribed fee.

Yours faithfully,

A handwritten signature in black ink, appearing to read "Siobhan Rye".

---

for **Director of Services**