



PLANNING & DEVELOPMENT ACT, 2000 (as amended)

Application for a Section 5 Declaration
Development / Exempted Development

1. Applicant's address/contact details:

Applicant	PAULINE SHEEDY
Address	18 BULFIN CRESCENT NENAGH CO. TIPPERARY
Telephone No.	[REDACTED]
E-mail	[REDACTED]

2. Agent's (if any) address:

Agent	HELEN SHEEDY (DAUGHTER)
Address	7 ORMOND KEEP NENAGH CO. TIPPERARY
Telephone No.	[REDACTED]
E-mail	[REDACTED]
Please advise where all correspondence in relation to this application is to be sent;	
Applicant []	Agent [✓]

3. Location of Proposed Development:

Postal Address or Townland or Location (as may best identify the land or structure in question)	18 BULFIN CRESCENT NENAGH CO. TIPPERARY
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4. Development Details:

Please provide details of the proposed development for which an exemption under Section 5 of the Planning and Development Act is applied for.

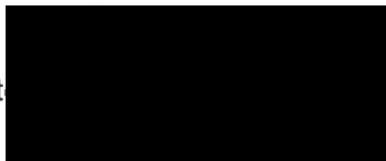
(Note: only works and uses listed and described under this section will be assessed under this Section 5 Application. Use additional sheets if required.)

<p>Ground floor extension consisting of master bedroom, ensuite toilet and shower room, and connecting hallway to rear of existing two story house.</p>
<p>Proposed floor area of proposed works/uses: 32.5 sqm</p>

5. Legal Interest of Applicant in the Land or Structure:

<p><i>Please tick appropriate box to show applicant's legal interest in the land or structure</i></p>	<p>A. Owner <input checked="" type="checkbox"/></p>	<p>B. Occupier <input type="checkbox"/></p>
	<p>C. Other <input type="checkbox"/></p>	<p><input type="checkbox"/></p>
<p><i>Where legal interest is 'Other', please expand further on your interest in the land or structure</i></p>	<p> </p>	
<p><i>If you are not the legal owner, please state the name and address of the owner</i></p>	<p>Name: Address:</p>	

Signature of Applicant



Date: 17/2/26.

Note: If the proposed development consists of works to a (Proposed) Protected Structure and/or any structure within the curtilage of a (Proposed) Protected Structure, an application for a Section 57 Declaration may be more appropriate.

GUIDANCE NOTES

- (1) All queries on the form must be completed and the form must be accompanied by the relevant fee. The amount of the fee is currently **€80.00**.
- (2) This application should be accompanied by **TWO COPIES** of the following documentation
 - OSI Site Location Map with the site outlined clearly – 1:1000 in urban areas and 1:2500 in rural areas
 - Floor Plans & Elevations at a scale of not less than 1:200
 - Site layout plan indicating position of proposed development relative to premises and adjoining properties
 - Other details e.g. brochures, photographs if appropriate.

(All dimensions must be given in metric scale and drawings should be accompanied by a brief description outlining the use of the proposed development)
- (3) Where a proper and complete application is received, a decision must be conveyed to the applicant within four (4) weeks except where additional necessary information is required.

This application form and relevant fee should be submitted to:

Planning Section, Tipperary County Council, Civic Offices, Limerick Road, Nenagh, Co. Tipperary	<u>OR</u>	Planning Section, Tipperary County Council, Civic Offices, Emmet Street, Clonmel, Co. Tipperary
Enquires:		
Telephone 0818 06 5000		
E-Mail planning@tipperarycoco.ie		

FOR OFFICE USE ONLY

Fee Recd. € <u>80 -</u>	DATE STAMP
Receipt No <u>135177</u>	TIPPERARY CO. COUNCIL RECEIVED
Date <u>17/2/26</u>	17 FEB 2026
Received by _____	<small>PLANNING SECTION FILE NO. <u>55/26/16</u></small>

EXISTING SITE LAYOUT PLAN

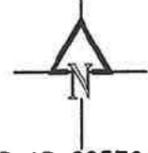
TOWNSLAND: 18 BULFIN CRESCENT, NENAGH, CO. TIPPERARY

SITE OUTLINED IN RED

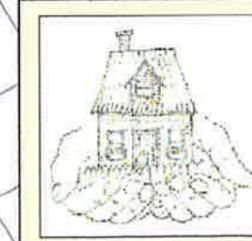
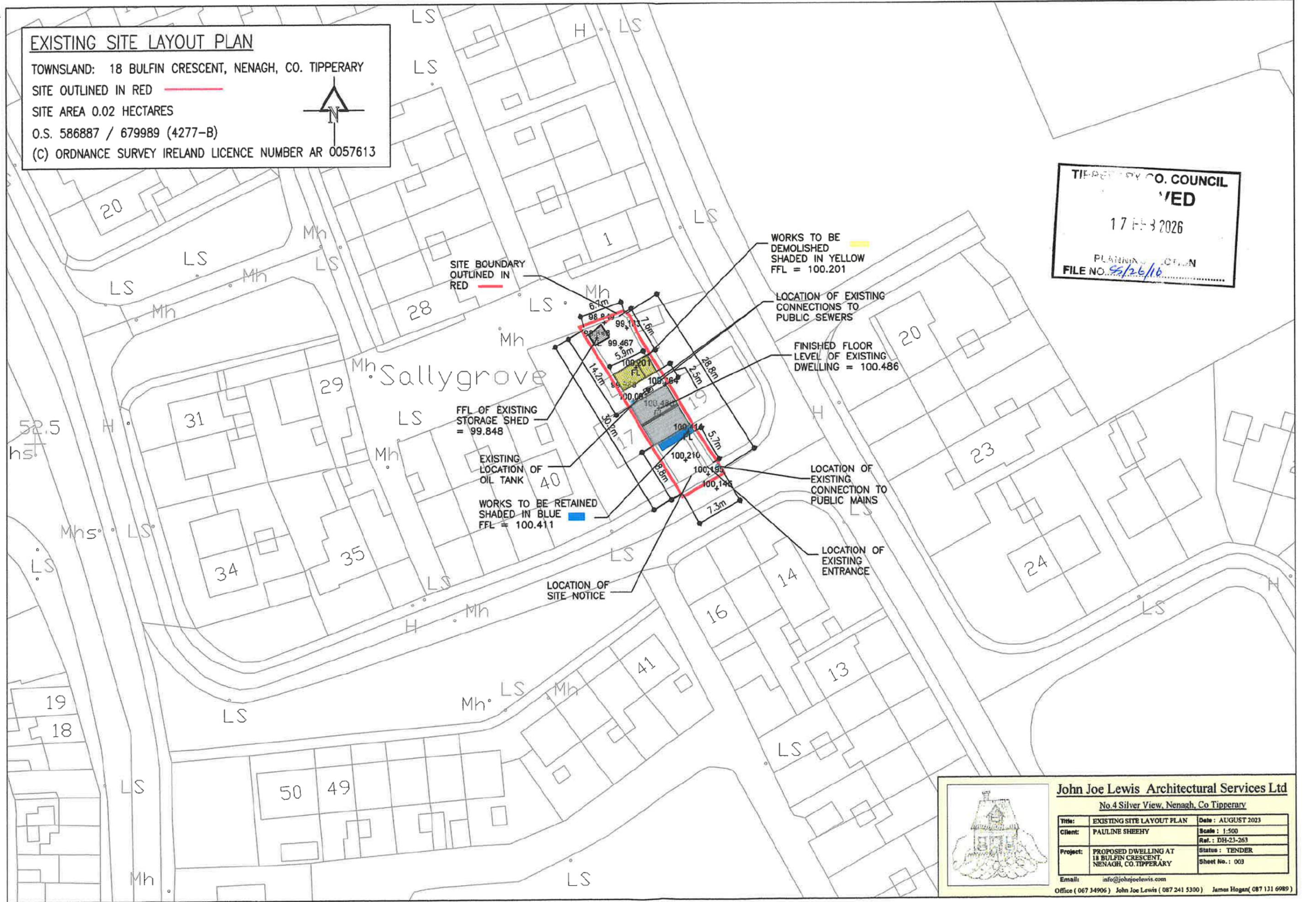
SITE AREA 0.02 HECTARES

O.S. 586887 / 679989 (4277-B)

(C) ORDNANCE SURVEY IRELAND LICENCE NUMBER AR 0057613



TIPPERARY CO. COUNCIL
VED
 17 FEB 2026
 PLANNING SECTION
 FILE NO. 55/26/16



John Joe Lewis Architectural Services Ltd
 No.4 Silver View, Nenagh, Co Tipperary

Title:	EXISTING SITE LAYOUT PLAN	Date:	AUGUST 2023
Client:	PAULINE SHEEHY	Scale:	1:500
Project:	PROPOSED DWELLING AT 18 BULFIN CRESCENT, NENAGH, CO. TIPPERARY	Ref.:	DH-23-263
		Status:	TENDER
		Sheet No.:	003

Email: info@johnjoelewis.com
 Office (067 34906) John Joe Lewis (087 241 5300) James Hogan (087 131 6989)

TIPPERARY COUNCIL
 17 FEB 2026
 PLANNING SECTION
 FILE NO. 55/26/16

LOCATION OF
 SITE NOTICE

SITE LOCATION MAP

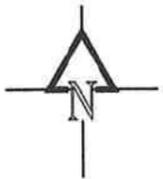
TOWNSLAND: 18 BULFIN CRESCENT, NENAGH, CO. TIPPERARY

SITE OUTLINED IN RED

SITE AREA 0.02 HECTARES

O.S. 586887 / 679989 (4277-B)

(C) ORDNANCE SURVEY IRELAND LICENCE NUMBER AR 0057613



John Joe Lewis Architectural Services Ltd

No.4 Silver View, Nenagh, Co Tipperary

Title:	SITE LOCATION MAP	Date:	AUGUST 2023
Client:	PAULINE SHEEHY	Scale:	1:1000
Project:	PROPOSED DWELLING AT 18 BULFIN CRESCENT, NENAGH, CO. TIPPERARY	Ref.:	DH-23-263
		Status:	TENDER
		Sheet No.:	001

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PROPOSED SITE LAYOUT PLAN

TOWNSLAND: 18 BULFIN CRESCENT, NENAGH, CO. TIPPERARY

SITE OUTLINED IN RED

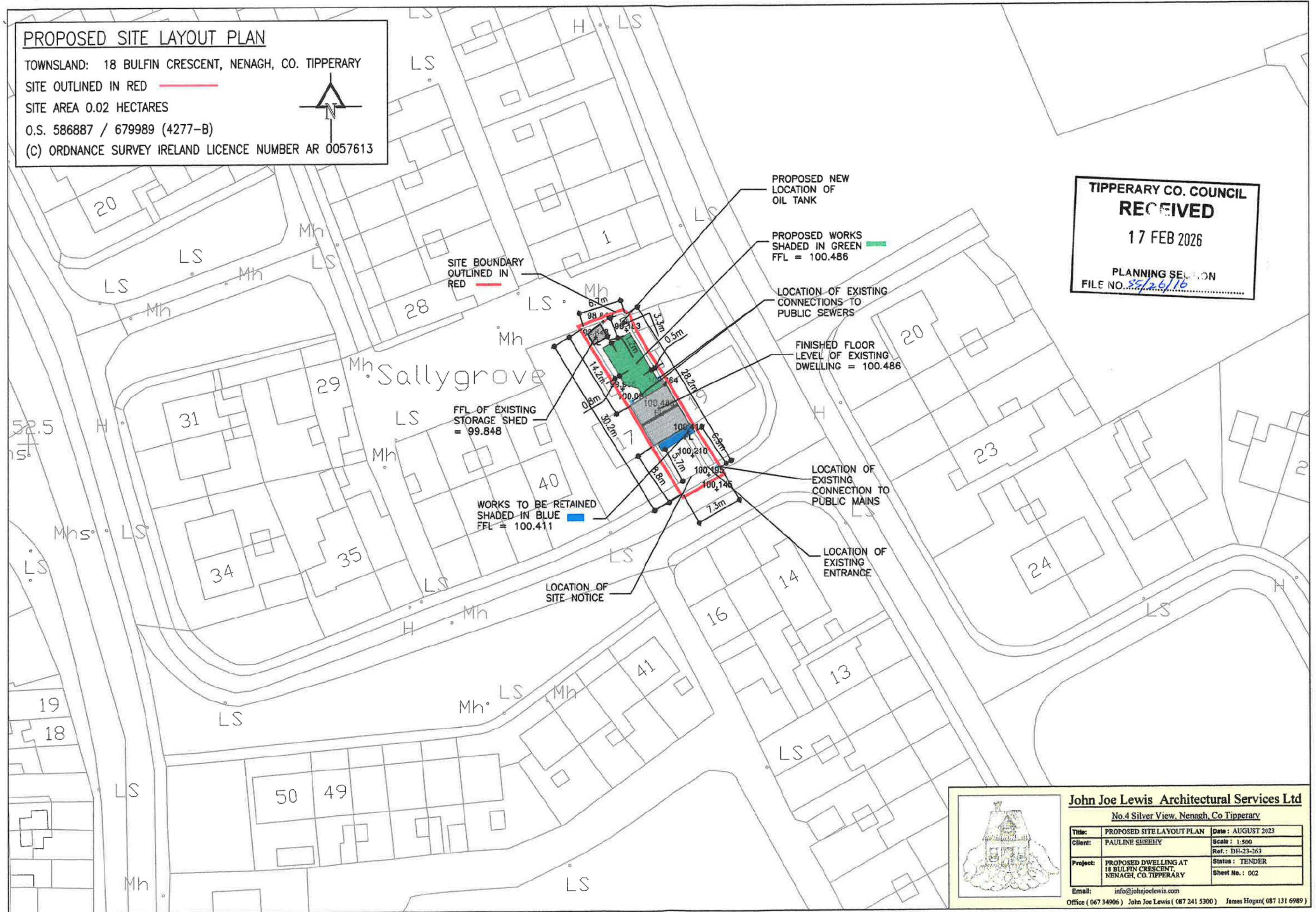
SITE AREA 0.02 HECTARES

O.S. 586887 / 679989 (4277-B)

(C) ORDNANCE SURVEY IRELAND LICENCE NUMBER AR 0057613



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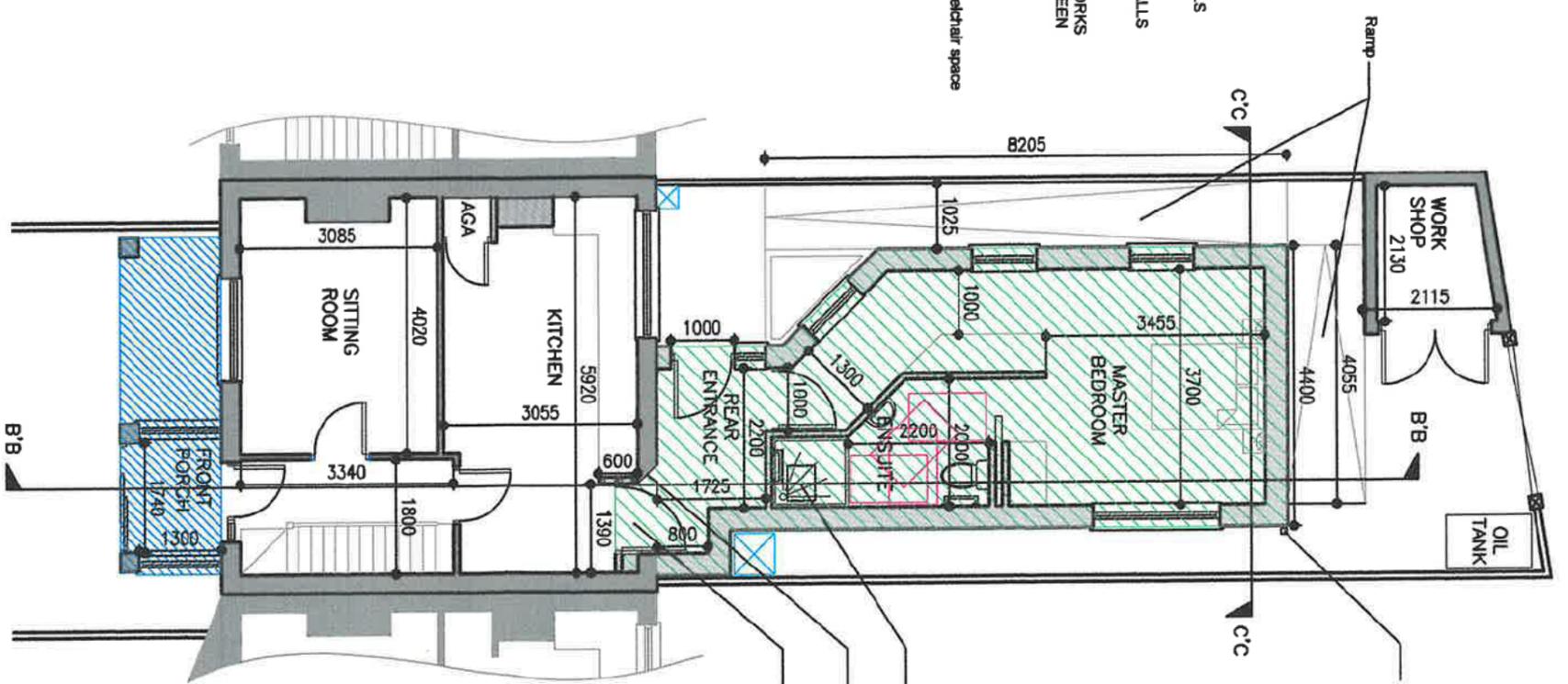
John Joe Lewis Architectural Services Ltd
 No.4 Silver View, Nenagh, Co. Tipperary

Title:	PROPOSED SITE LAYOUT PLAN	Date:	AUGUST 2023
Client:	PAULINE SHREHY	Scale:	1:500
		Ref.:	DH-23-263
Project:	PROPOSED DWELLING AT 18 BULFIN CRESCENT, NENAGH, CO. TIPPERARY	Status:	TENDER
		Sheet No.:	002

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-  EXISTING WALLS
-  PROPOSED WALLS
-  PROPOSED WORKS SHADED IN GREEN
-  1.2m x 0.75 wheelchair space



Rainwater Gully to existing storm water drain

TOILET
 17 inch (430 - 440mm) height toilet to be fitted.
 Fixed rail on side wall & drop down rail on other side

SHOWER AREA
 1.1m x 1.2m level access slip resistant surface (R11) shower with fixed half screen door (foldable) with permanent fixings (door opening outwards).
 Shower unit to be positioned 1.2m above floor level with 2.0m flexi hose with shower head fixing adjustable (1.2m - 2.2m above floor level).
 Shower must be thermostatically controlled with max water temp of 43 degrees (C).
 Grab rails required on 2 walls 0.7m above floor level (as indicated)

Hinged Seat

Wall cut back 45 degrees as shown

Existing Door to be Replaced with 1100mm Door

Ground Floor Plan

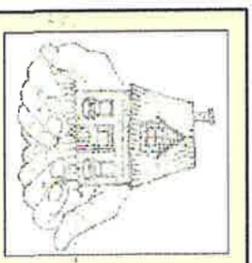
Scale 1:100

Total Floor Area 105.5 sq/m
 Proposed Floor Area 32.5 sq/m
 Floor Area to be Retained 3 sq/m

WORKS TO BE DEMOLISHED SHADED IN YELLOW

WORKS TO BE RETAINED SHADED IN BLUE

PROPOSED WORKS SHADED IN GREEN

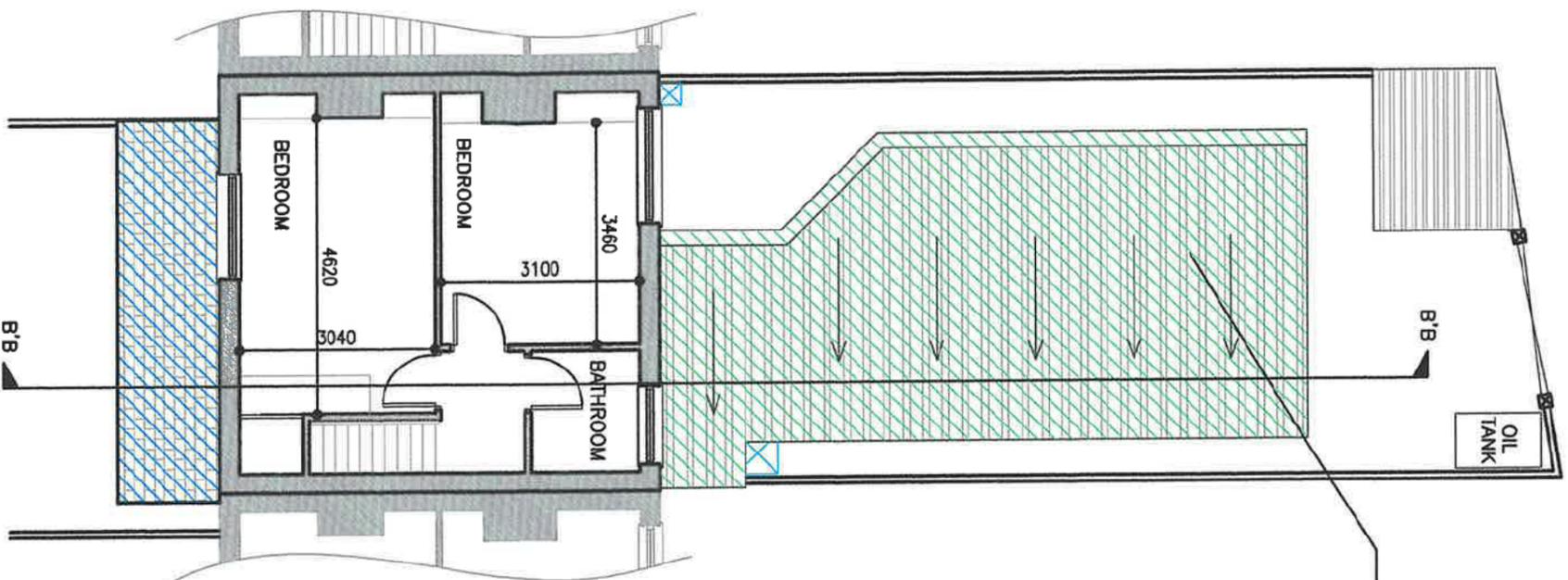


John Joe Lewis Architectural Services Ltd
 No.4 Silver View, Nenagh, Co Tipperary

Title:	PROPOSED GROUND FLOOR PLANS	Date:	AUGUST 2023
Client:	PAULINE SHEEHY	Scale:	1:100
Project:	PROPOSED DWELLING AT 18 BULFIN CRESCENT, NENAGH, CO TIPPERARY	Ref.:	DK-23-263
Email:	info@johnjolewis.com	Status:	TENDER
Office (067 34906)	John Joe Lewis (087 241 5300)	Sheet No.:	007

James Hogan (087 131 6889)

TYPICAL RARY CO COUNCIL
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 File No. *SS/26/16*



Flat Roof with pitch as shown to be
 created by furring pieces screwed to
 joists to allow for 100mm fall over length
 of roof

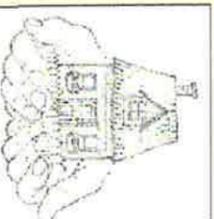


First Floor Plan

Scale 1:100

Total Floor Area 105.5 sq/m
 Proposed Floor Area 32.5 sq/m
 Floor Area to be Retained 3 sq/m

WORKS TO BE DEMOLISHED SHADED IN YELLOW
 WORKS TO BE RETAINED SHADED IN BLUE
 PROPOSED WORKS SHADED IN GREEN

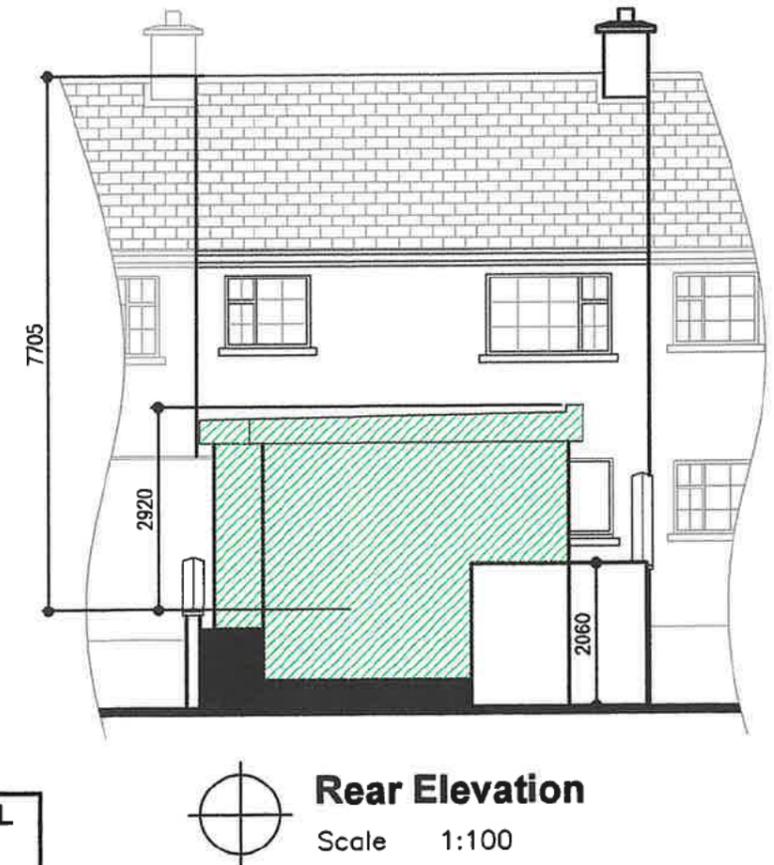
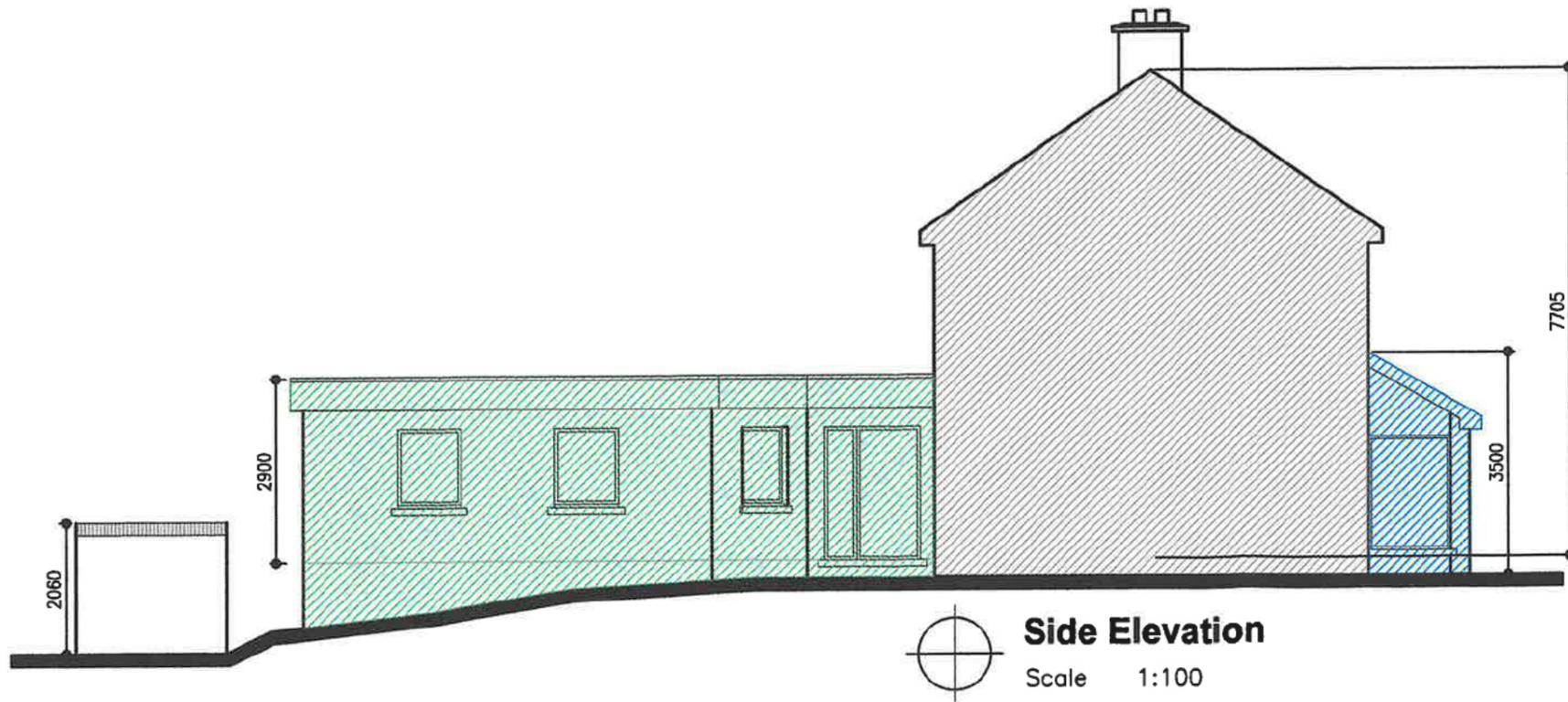
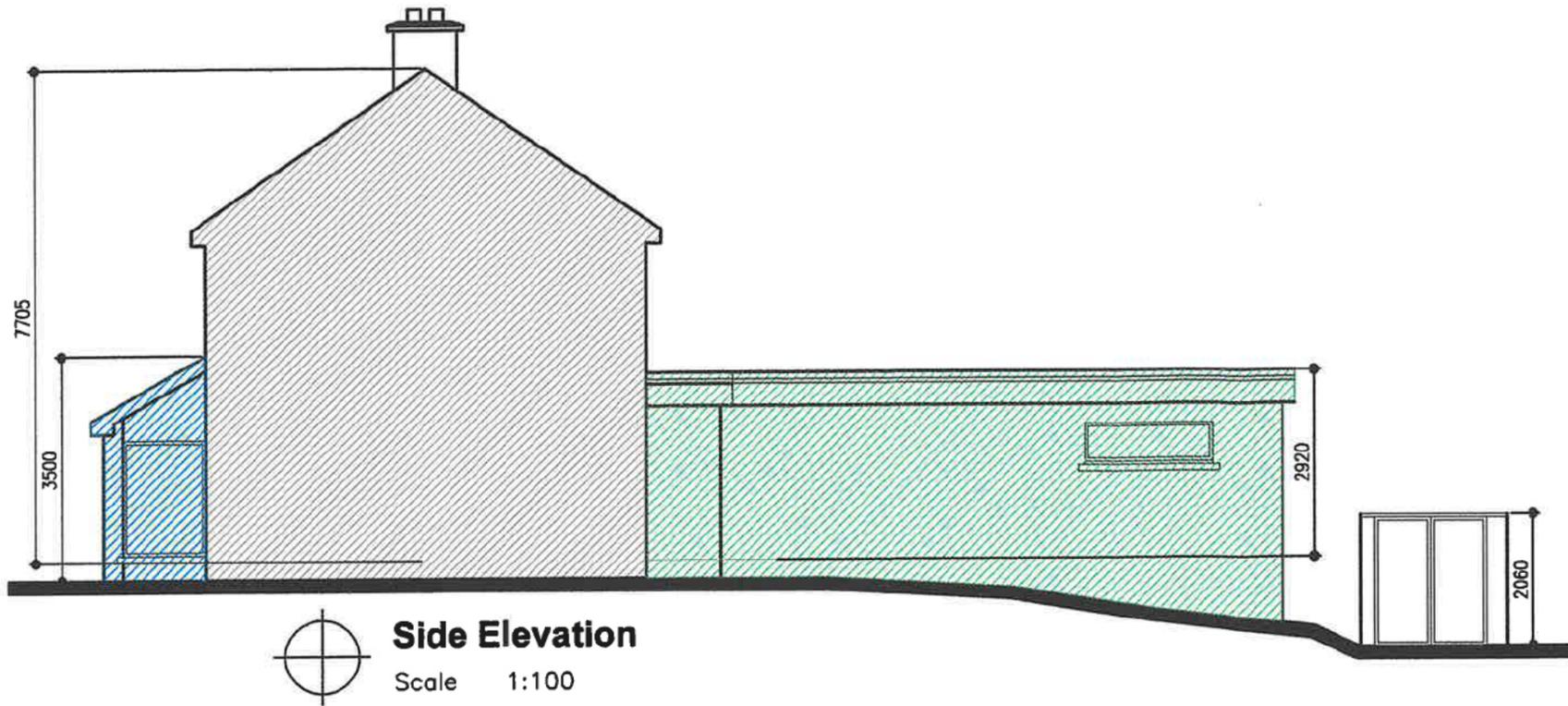


John Joe Lewis Architectural Services Ltd

No.4 Silver View, Nennagh, Co Tipperary

Title:	PROPOSED FIRST FLOOR PLAN	Date:	AUGUST 2023
Client:	PAULINE SHEEHY	Scale:	1:100
Project:	PROPOSED DWELLING AT 18 BULLOCKY CROSSING, NENNAGH, CO. TIPPERARY	Ref.:	DR-23-263
		Status:	TENDER
		Sheet No.:	008

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 Office (067 34906) John Joe Lewis (087 241 5300) James Hogan (087 131 6989)



WORKS TO BE DEMOLISHED SHADED IN YELLOW

WORKS TO BE RETAINED SHADED IN BLUE

PROPOSED WORKS SHADED IN GREEN



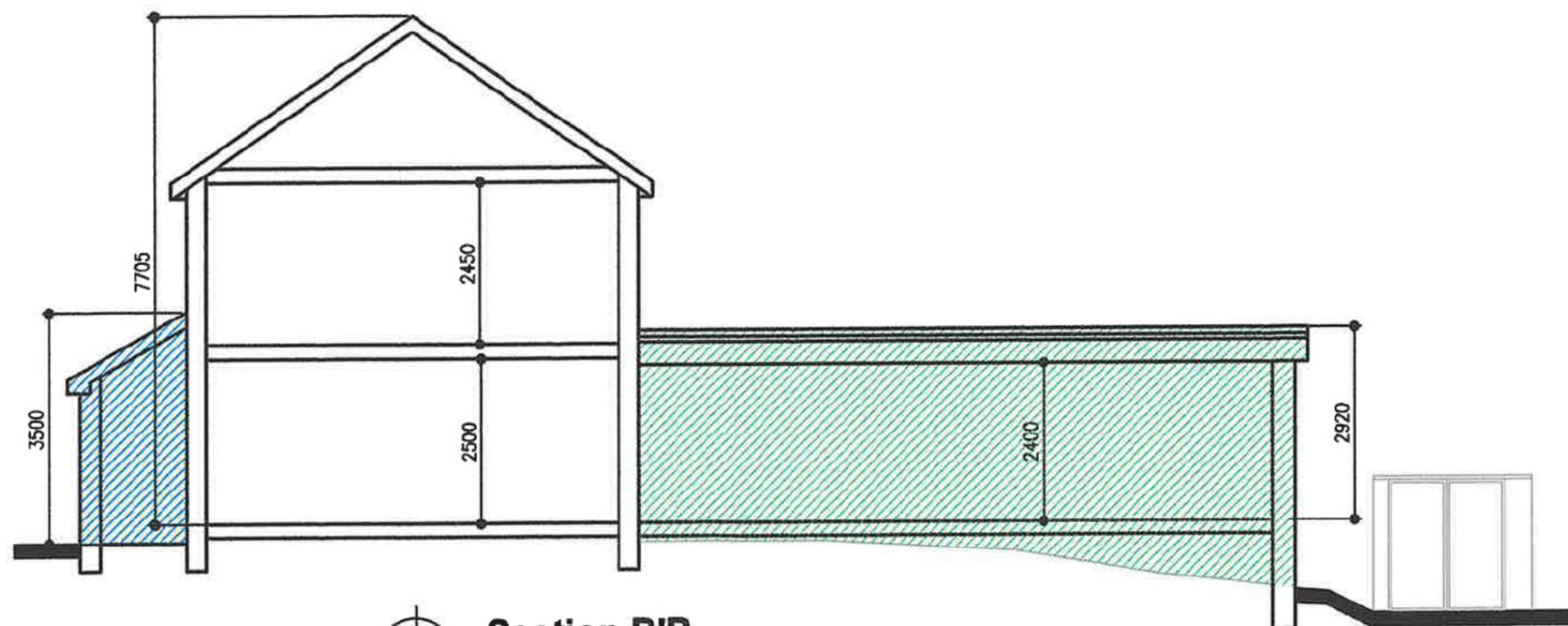
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55/26/16



John Joe Lewis Architectural Services Ltd
No.4 Silver View, Nenagh, Co Tipperary

Title:	PROPOSED ELEVATIONS	Date:	AUGUST 2023
Client:	PAULINE SHEEHY	Scale:	1:100
Project:	PROPOSED DWELLING AT 18 BULFIN CRESCENT, NENAGH, CO. TIPPERARY	Ref.:	DH-23-263
Status:	TENDER	Sheet No.:	009

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Section B'B
 Scale 1:100

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 FILE NO. *55/26/16*

WORKS TO BE DEMOLISHED SHADED IN YELLOW 

WORKS TO BE RETAINED SHADED IN BLUE 

PROPOSED WORKS SHADED IN GREEN 



John Joe Lewis Architectural Services Ltd

No 4 Silver View, Nenagh, Co Tipperary

Title:	PROPOSED SECTION	Date:	AUGUST 2023
Client:	PAULINE SHEEHY	Scale:	1:100
		Ref.:	DH-23-263
Project:	PROPOSED DWELLING AT 18 BULFIN CRESCENT, NENAGH, CO. TIPPERARY	Status:	TENDER
		Sheet No.:	010

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NOTES:

1. ALL FINISHES AND FITTINGS TO BE AGREED WITH CLIENT.
2. ALL HABITABLE ROOMS TO BE VENTILATED.
3. PROVIDE FOR THE CONTAINMENT OF RADON GAS IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS. (TO EXTENSION ONLY)
4. ALL STRUCTURAL TIMBERS TO COMPLY WITH SR 11 TABLES.
5. ALL WORK TO BE CARRIED OUT AND ALL MATERIALS USED TO COMPLY WITH CURRENT BUILDING REGULATIONS.
6. DO NOT SCALE FROM THIS DRAWING.
7. BUILDERS TO TAKE RESPONSIBILITY FOR ALL ASPECTS OF SAFETY ON SITE IN ACCORDANCE WITH CURRENT SAFETY AND HEALTH REGULATIONS
8. COPYRIGHT TO ALL DRAWINGS REMAIN THE PROPERTY OF JOHN JOE LEWIS ARCHITECTURAL SERVICES LTD.
9. ALL WATER PIPES, STOP COCKS & WATER METERS TO BE LAID A MINIMUM OF 900MM BELOW FINISHED GROUND LEVEL
10. N.B. PLEASE REVIEW THE ENCLOSED DRAWINGS CAREFULLY BEFORE WORK BEGINS ON SITE AND ANY DISCREPANCIES OR PROBLEMS RELATING TO THE DRAWINGS OR THE BUILDING WORKS CONTAINED WITHIN THE DRAWINGS SHOULD BE BROUGHT TO THE ATTENTION OF THE SUPERVISING ARCHITECT.

ELECTRICAL

NEW BUILD TO LINK TO EXISTING ELECTRICAL SYSTEM.

VENTILATION (TO EXTENSION ONLY)

BACKGROUND VENTILATION

BACKGROUND VENTILATION TO BE PROVIDED THROUGH TRICKLE VENTS FITTED IN WINDOWS.

MECHANICAL VENTILATION

MECHANICAL VENTILATION TO BE PROVIDED IN ALL WET ROOMS TO COMPLY WITH TABLE 1 (PG.14) OF PART F OF TECHNICAL GUIDANCE DOCUMENTS. MINIMUM EXTRACT RATES AS FOLLOWS

ALL MECHANICAL EXTRACT FANS TO COMPLY WITH IS EN 13141-4 AND EN 13141-5 RESPECTIVELY.

CERTIFICATION OF COMPLIANCE OF EXTRACT FANS WITH ABOVE REGULATIONS MUST BE OBTAINED FROM MANUFACTURER AND SUPPLIED TO SUPERVISING ARCHITECT PRIOR TO COMPLETION

WINDOWS & DOORS

EXISTING WINDOW TO BE REFITTED IN LOCATION AS INDICATED (ANCHORED TO WALLS AND TAPED FOR AIRTIGHTNESS) WINDOWS TO COMPLY WITH REGULATIONS

WINDOW CILLS

NEW CILLS TO BE PRECAST CONCRETE WINDOW CILLS TO I.S. 89, 100MM THICK ON FRONT FACE, 100MM THICK AT BACK AND 100MM WIDER THAN OPENING AT EACH SIDE, REINFORCED ADEQUATELY SEATED, REBATED, WEATHERED AND THROATED AND SET IN GAUGED MORTAR ON DPC AS PREVIOUSLY SPECIFIED. CARE SHALL BE TAKEN THAT THROATING IS CLEAR OF THE FINISHED WALL FACE.

FOUNDATIONS

THE FOUNDATIONS MUST HAVE AT LEAST A MINIMUM WIDTH EQUAL TO THREE TIMES THE THICKNESS OF THE WALL IT IS SUPPORTING THE MINIMUM DEPTH OF FOUNDATION EXCAVATION BELOW FINISHED GROUND LEVEL TO BE 900mm

THE MINIMUM THICKNESS OF CONCRETE TO BE 300mm. 4no 12MM STEEL REINFORCING BARS 50MM FROM TOP AND BOTTOM OF FOUNDATION. STEEL WORK TO BE INSPECTED BY SUPERVISING ARCHITECT BEFORE POURING ENSURE THAT ALL BLOCKWORK WALLS ARE BUILT FROM A FOUNDATION THE SPECIFICATIONS FOR THE ABOVE ARE BASED ON NORMAL GROUND CONDITIONS. NEW FOUNDATION PAD TO LINK TO FOUNDATION OF EXISTING DWELLING WITH 12MM STEEL BARS BORED INTO EXISTING FOUNDATION

RADON PROTECTION

PROVIDE AND INSTALL A RADON RESISTANT MEMBRANE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS INCLUDING 150MM LAPS AND SEALED. PROVIDE AND INSTALL 2no RADON SUMPS IN HARDWARE LAYER PIPED TO THE EXTERNAL IN 100MM DIAMETER DRAINAGE PIPE TAKEN ABOVE GROUND LEVEL AT PATH LEVEL AND CAPPED IN THE 3 "A" ROOFED SECTIONS OF THE DWELLING ALL ROOM AREAS TO BE LINKED IN HARDWARE UNDER FLOOR SLAB TO ALLOW FOR FREE MOVEMENT OF RADON GAS

PVC FASCIA, SOFFIT, GUTTERS TO MATCH EXISTING.
ALL NEW FACIA, SOFFIT, GUTTERS & DOWNPIPES TO BE BLACK PVC TO MATCH EXISTING.
DOWN PIPES TO LINK TO EXISTING STORM WATER DRAINAGE

CEILINGS:

FIX 1 LAYER 12.5MM THICK GYPSUM GYPROC WALL BOARD DUPLEX FOIL-BACKED PLASTERBOARD TO CEILINGS WITH STAGGERED JOINTS AND BOUND EDGE RUNNING AT RIGHT ANGLES TO CEILING JOISTS WITH 40MM LONG ZINC ELECTROPLATED SELF DRILLING AND TAPPING DRYWALL SCREWS AT 230MM CENTERS (5 PER LINEAR METER) WORKING FROM THE CENTER OF THE BOARD OUTWARDS. ALL JOINTS TO BE TAPPED AND FILED AND COMPLETED WITH JOINT FINISHER, REINFORCE ALL CORNERS WITH 90MM JUTE SCRIM REINFORCE ALL EXTERNAL ANGLES WITH ANGLE BEAD. FINISH WITH A 2MM SKIM COAT THISTLE BOARD PLASTER STEEL TROWELLED TO A SMOOTH FINISH.

WASTE WATER FROM NEW ENSUITE TO LINK TO EXISTING SEWERAGE SYSTEM WITH AJ'S & VENT PIPES AS NECESSARY

ROOF (NEW)

PVC FLAT ROOF ON OSB SCREWED TO 225 X 50 JOISTS AT 400MM CENTERS WITH CROSS-BRACING AT 600 CENTERS. 150MM FIBERGLASS INSULATION BETWEEN JOISTS WITH 63MM INSULATED SLAB. SIL TO UNDERSIDE OF CEILING JOIST. CONTINUOUS AIR VENT TO TOP OF FASCIA TO RUN BETWEEN JOISTS WITH HOLES IN JOISTS TO ALLOW AIR FLOW

WALL PLATE:

TREATED SOFTWOOD TIMBER DOUBLE WALL PLATE (SEE SECTION DRAWING), TARGET SIZE OF 100X75MM STRAPPED TO INTERNAL WALL AT 1.2M CENTERS OR BOLTED AT 1.2M CENTERS, TO RUN 750MM DOWN BLOCKWORK. STRAPPING OR BOLTING IS TO OCCUR NO MORE THAN 400MM FROM EACH SIDE OF A BUTT JOINT IN THE PLATE

NEW WALL CONSTRUCTION (EXTERNAL)

100mm OUTER BLOCKWORK LEAF WITH PLASTER FINISH.
100MM CAVITY TO BE FITTED WITH 100MM FULL FILL CAVITY WALL INSULATION BOARD.
INTERNAL WALLS FINISHED WITH SCRATCH COAT & SKIM FINISH.

EXTERNAL WALL FINISHES:

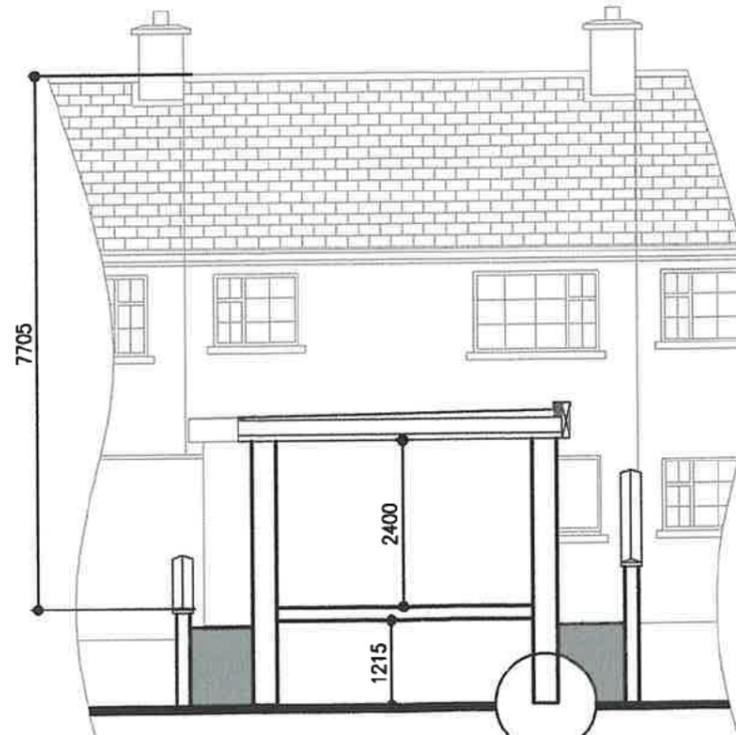
RENDERING TO CONSIST OF SCUD COAT, SCRATCH COAT, & FINISHING COAT AS FOLLOWS:

- SCUD COAT TO 3-5MM THICKNESS APPLIED BY THROWING WITH A HAND SCOPE.
- SCRATCH COAT TO 8-12MM THICKNESS COMBED OR SCRATCHED AFTER IT HAS BEEN LEFT LONG ENOUGH TO SET FIRM.
- FINAL COAT & FINISHING COAT TO 6-10MM THICKNESS, SMOOTH FINISH TO MATCH EXISTING HOUSE, INCLUDE FOR FORMING BELCAST PROJECTION WITH PROPRIETARY GALVANISED METAL BELCAST RENDER BEAD TO PLINTH.
- EXTERNAL RENDERING TO COMPLY WITH BS 5262: 1991

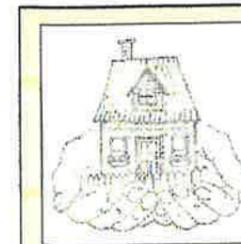
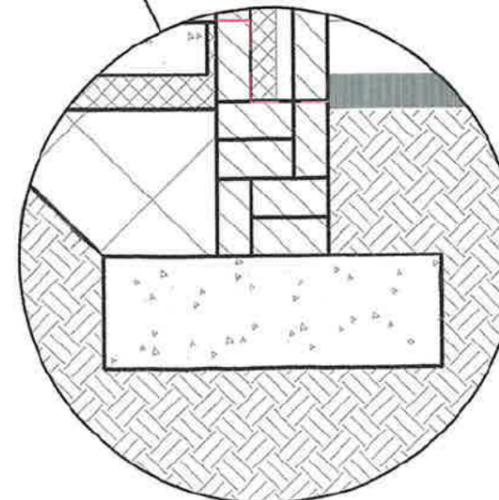
NEW GROUND FLOOR SLAB

FLOOR TO BE CONSTRUCTED OF GOOD QUALITY HARDWARE EG. CLEAN, WELL GRADED BROKEN STONE, 100MM MAX SIZE. COMPACT HARDWARE IN LAYERS NOT EXCEEDING 225MM IN DEPTH. THE COMPACTED HARDWARE SHOULD BE BLINDED WITH A 50MM COVERING OF SAND. A DAMP PROOF MEMBRANE OF AT LEAST 1200 GAUGE MATERIAL SHOULD BE LAID WITH JOINTS LAPPED AND SEALED 125MM RIGID INSULATION TO GIVE AN OVERALL U-VALUE OF .17 (W/M2K) TO BE PLACED ON TOP OF DAMP PROOF MEMBRANE WITH 25MM HIGH DENSITY INSULATION TO BE PLACED ALONG EDGE OF FLOOR SLAB & ALONG EDGE OF INTERNAL WALLS FOLLOWED BY 150MM POWER FLOATED CONCRETE FLOOR SLAB.

FINISHED FLOOR LEVEL OF EXTENSION TO MATCH LEVEL OF EXISTING DWELLING.



Section C'C
Scale 1:100

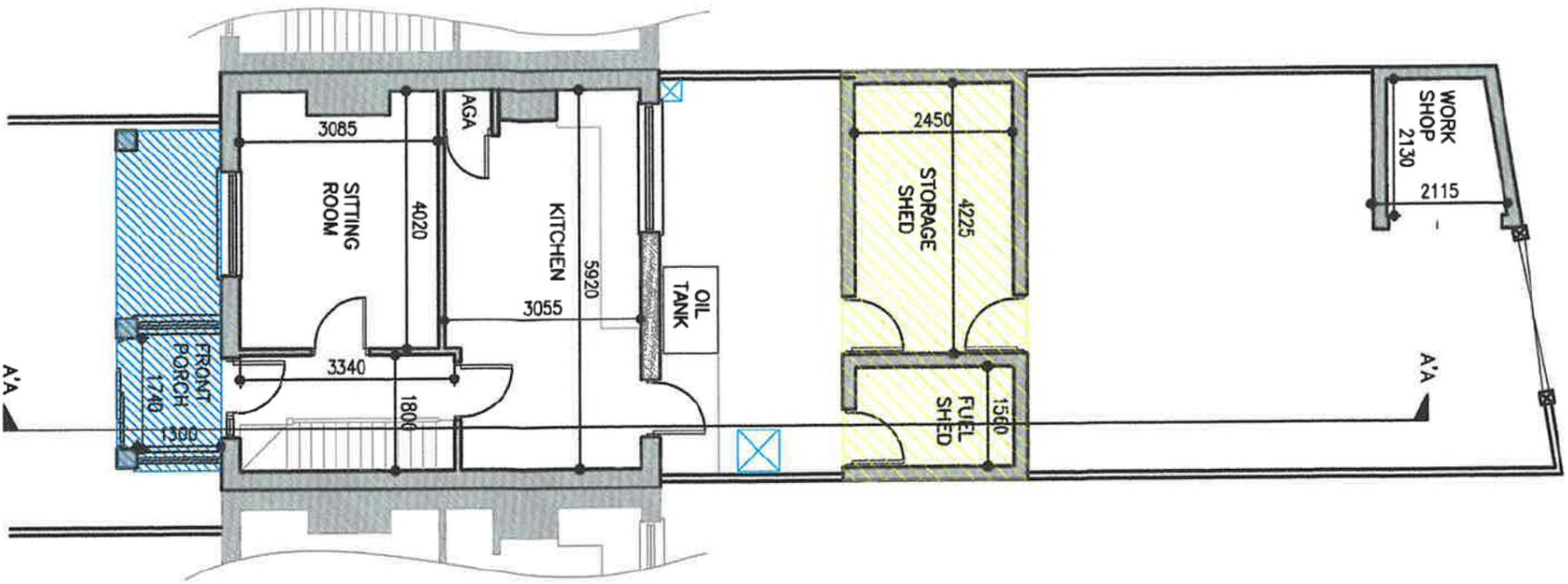


John Joe Lewis Architectural Services Ltd

No 4 Silver View, Nenagh, Co Tipperary

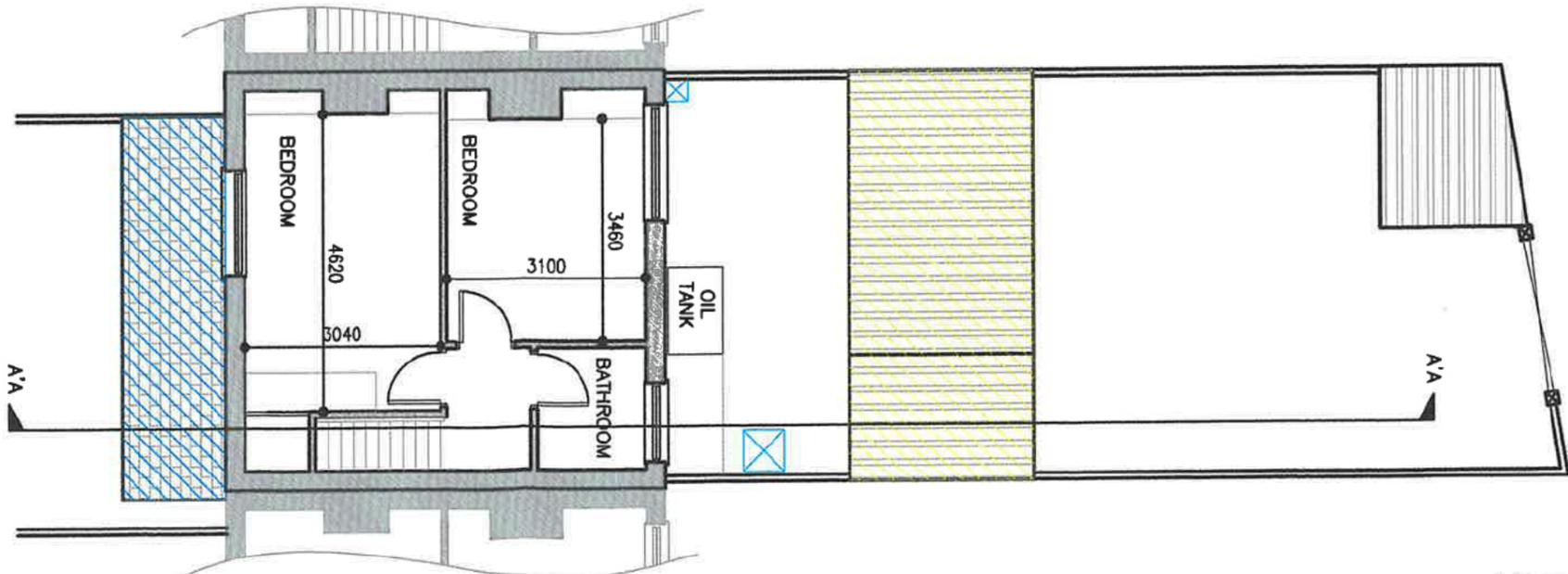
Title:	SPECIFICATION DOCUMENT 2	Date:	AUGUST 2023
Client:	PAULINE SHEEHY	Scale:	1:100
Project:	PROPOSED DWELLING AT 18 BULFIN CRESCENT NENAGH, CO TIPPERARY	Ref.:	DH-23-263
		Status:	TENDER
		Sheet No.:	011

Email: info@johnjoelewis.com
Office (067 34906) John Joe Lewis (087 241 5300) James Hogan (087 131 6989)



Ground Floor Plan
Scale 1:100

Existing Floor Area 87 sq/m
Floor Area to be Demolished 14 sq/m
Floor Area to be Retained 3 sq/m



First Floor Plan
Scale 1:100

Existing Floor Area 87 sq/m
Floor Area to be Demolished 14 sq/m
Floor Area to be Retained 3 sq/m

WORKS TO BE DEMOLISHED SHADED IN YELLOW
WORKS TO BE RETAINED SHADED IN BLUE
PROPOSED WORKS SHADED IN GREEN

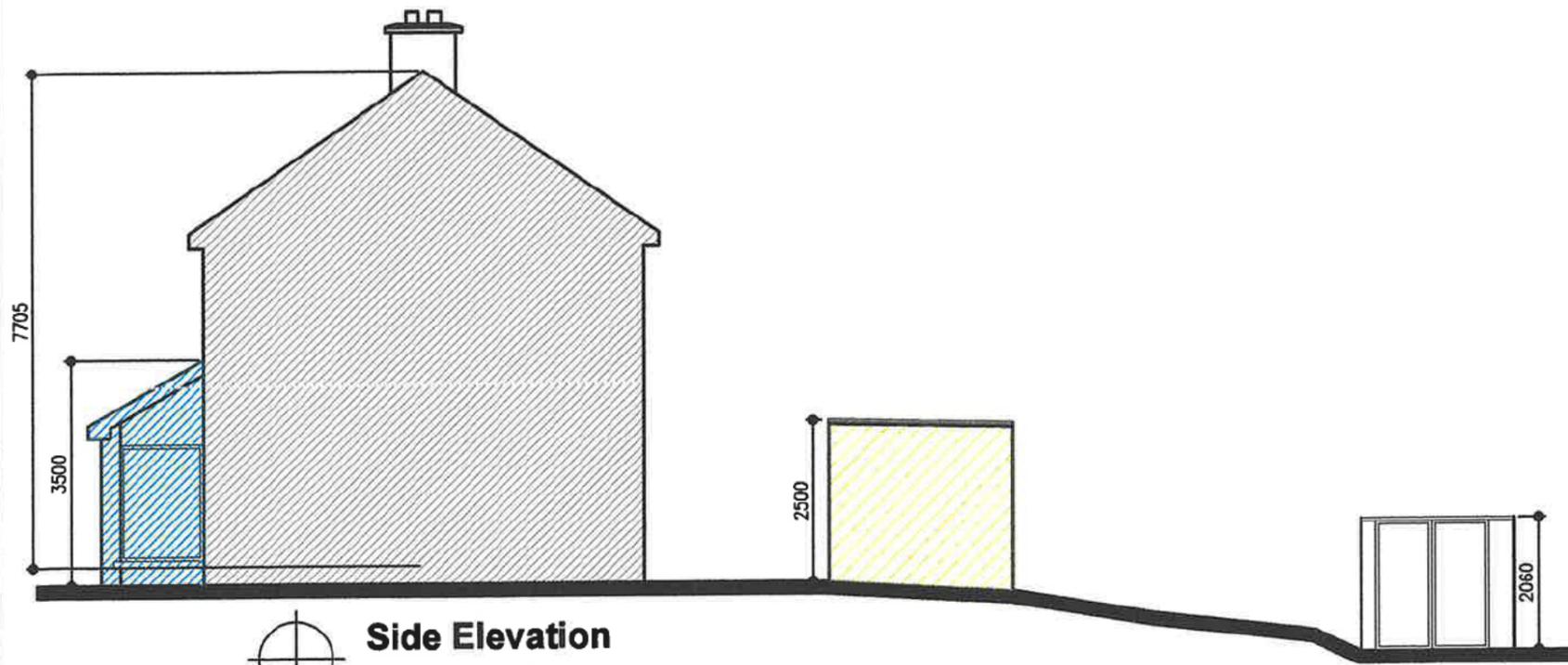


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FILE # 525/26/16

John Joe Lewis Architectural Services Ltd
No 4 Silver View, Nennagh, Co Tipperary

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Client: PAULINE SHERRY	Scale: 1:100
Project: PROPOSED DWELLING AT 18 BULFIN CRESCENT, NENNAGH, CO. TIPPERARY	Ref.: DH-23-263
	Status: TENDER
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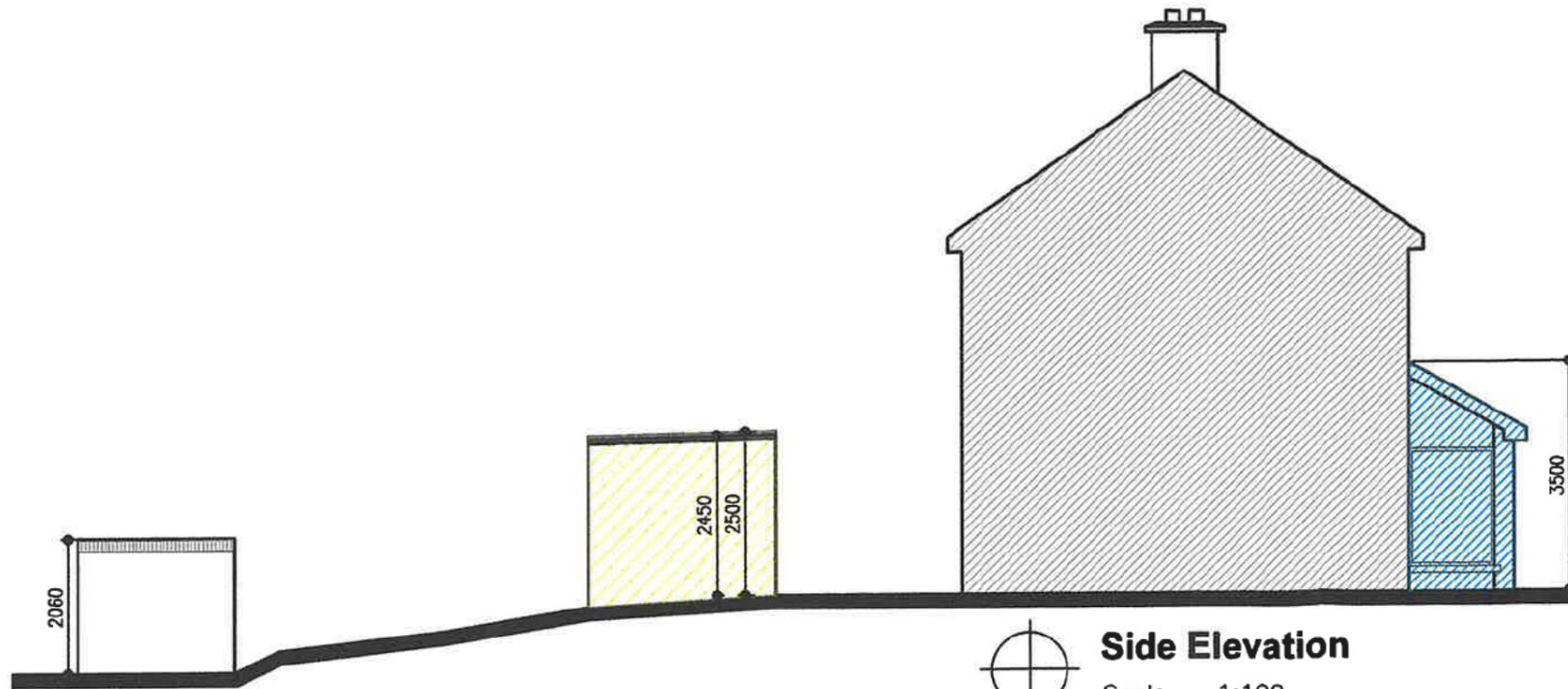
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Email: info@johnjolewis.com



Side Elevation
Scale 1:100



Rear Elevation
Scale 1:100



Side Elevation
Scale 1:100

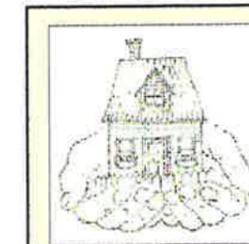


Front Elevation
Scale 1:100

WORKS TO BE DEMOLISHED SHADED IN YELLOW
 WORKS TO BE RETAINED SHADED IN BLUE
 PROPOSED WORKS SHADED IN GREEN



TIPPERARY CO. COUNCIL
RECEIVED
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 FILE NO. *55/26/16*

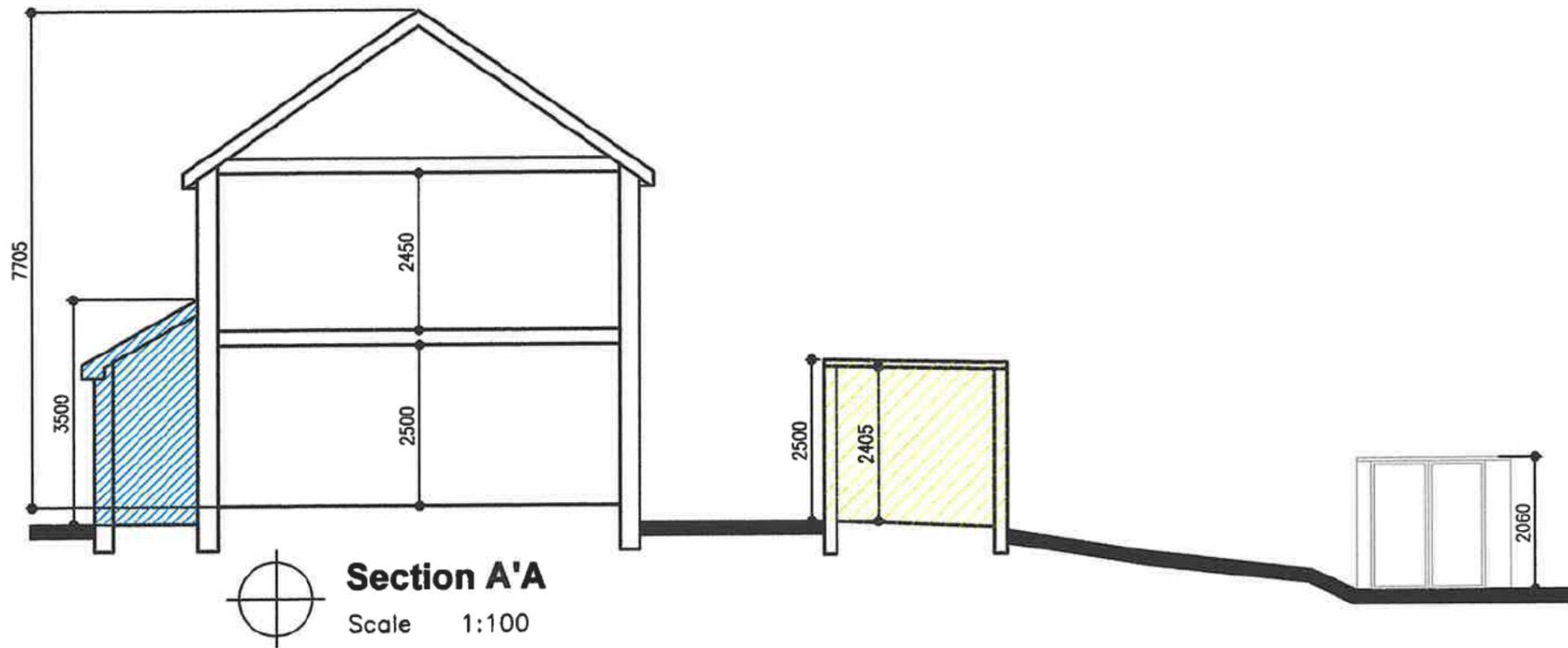


John Joe Lewis Architectural Services Ltd

No.4 Silver View, Nenagh, Co Tipperary

Title:	EXISTING ELEVATIONS	Date:	AUGUST 2023
Client:	PAULINE SHEEHY	Scale:	1:100
		Ref.:	DH-23-263
Project:	PROPOSED DWELLING AT 18 BULFIN CRESCENT, NENAGH, CO. TIPPERARY	Status:	TENDER
		Sheet No.:	005

Email: info@johnjoelewis.com
Office (067 34906) John Joe Lewis (087 241 5300) James Hogan (087 131 6989)



TIPPERARY CO. COUNCIL
RECEIVED
 17 FEB 2023
 PLANNING SERVICE
 FILE NO. 55/26/16

WORKS TO BE DEMOLISHED SHADED IN YELLOW
 WORKS TO BE RETAINED SHADED IN BLUE
 PROPOSED WORKS SHADED IN GREEN



John Joe Lewis Architectural Services Ltd
 No.4 Silver View, Nenagh, Co Tipperary

Title: EXISTING SECTION	Date: AUGUST 2023
Client: PAULINE SHEEHY	Scale: 1:100
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Comhairle Contae Thiobraid Árann
Tipperary County Council

Comhairle Contae
Thiobraid Árann,
Oifigí Cathartha,
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Co. Thiobraid Árann
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t 0818 06 5000/601
e customerservice
@tipperarycoco.ie
tipperarycoco.ie

Date: 18th February 2026

Our Ref: S5/26/16

Civic Offices, Nenagh

Pauline Sheedy
C/O Helen Sheedy
7 Ormond Keep
Nenagh
Co Tipperary

Re: Application for a Section 5 Declaration – Ground floor extension consisting of master bedroom, ensuite toilet and shower room, and connecting hallway to rear of existing two-story house. 32.5sqm at 18 Bulfin Crescent, Nenagh, Co. Tipperary.

Dear Pauline,

I acknowledge receipt of your application for a Section 5 Declaration received on 17th February 2026, in connection with the above.

I wish to advise that you will be notified of a decision on your application in due course.

Yours sincerely


for **Director of Services**

TIPPERARY COUNTY COUNCIL

Application for Declaration under Section 5

Planning & Development Act 2000, as amended
Planning & Development Regulations 2001, as amended

Planning Ref.: S5/26/16

Applicant: Pauline Sheedy

Development Address: 18 Bulfin Crescent, Nenagh

Proposed Development: Ground floor extension consisting of master bedroom, ensuite toilet and shower room and connecting hallway to rear of existing two storey house.

1. GENERAL

On the 17/02/2026, a request was made for a declaration under Section 5 of the Planning and Development Act, 2000 as amended in respect of the following development at 18 Bulfin Crescent, Nenagh:

- Ground floor extension consisting of master bedroom, ensuite toilet and shower room and connecting hallway to rear of existing two storey house

2. STATUTORY PROVISIONS

Planning and Development Act 2000, as amended

Section 3 (1) of the Planning and Development Act 2000, as amended, states as follows:

"In this Act, 'development' means, except where the context otherwise requires, the carrying out of works on, in, over or under land or the making of any material change in the use of any structures or other land."

Section 2(1) of the Planning and Development Act, 2000, as amended, defines "works" as:

"works" includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

Section 4(1) of the Planning and Development Act, 2000, as amended states:

- 4.- (1) *The following shall be exempted developments for the purposes of this Act—*
- (h) development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures.*

4.- (2) (a) of the Planning and Development Act 2000, as amended, states as follows:

(2)(a) *The Minister may by regulations provide for any class of development to be exempted development for the purposes of this Act where he or she is of the opinion that—*

(i) by reason of the size, nature or limited effect on its surroundings, of development belonging to that class, the carrying out of such development would not offend against principles of proper planning and sustainable development, or

(ii) the development is authorised, or is required to be authorised, by or under any enactment (whether the authorisation takes the form of the grant of a licence, consent, approval or any other type of authorisation) where the enactment concerned requires there to be consultation (howsoever described) with members of the public in relation to the proposed development prior to the granting of the authorisation (howsoever described).

Section 4 (4) of the Planning and Development Act 2000, as amended, states as follows:

4 (4) Notwithstanding paragraphs (a), (i), (ia) and (l) of subsection (1) and any regulations under subsection (2), development shall not be exempted development if an environmental impact assessment or an appropriate assessment of the development is required.

Planning and Development Regulations 2001, as amended

Article 6 of the Planning and Development Regulations 2001, as amended states:

Exempted Development.

6. (1) Subject to article 9, development of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1.

Class 1 of Part 1 of Schedule 2 of the Planning and Development Regulations 2001, as amended states:

Description of Development

The extension of a house, by the construction or erection of an extension (including a conservatory) to the rear of the house or by the conversion for use as part of the house of any garage, store, shed or other similar structure attached to the rear or to the side of the house.

Conditions and Limitations

1.
 - (a) *Where the house has not been extended previously, the floor area of any such extension shall not exceed 40 square metres.*
 - (b) *Subject to paragraph (a), where the house is terraced or semi-detached, the floor area of any extension above ground level shall not exceed 12 square metres.*
 - (c) *Subject to paragraph (a), where the house is detached, the floor area of any extension above ground level shall not exceed 20 square metres.*
2.
 - (a) *Where the house has been extended previously, the floor area of any such extension, taken together with the floor area of any previous extension or extensions constructed or erected after 1 October 1964, including those for which*

planning permission has been obtained, shall not exceed 40 square metres.

(b) Subject to paragraph (a), where the house is terraced or semi-detached and has been extended previously, the floor area of any extension above ground level taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 12 square metres.

(c) Subject to paragraph (a), where the house is detached and has been extended previously, the floor area of any extension above ground level, taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 20 square metres.

3. Any above ground floor extension shall be a distance of not less than 2 metres from any party boundary.

4.

(a) Where the rear wall of the house does not include a gable, the height of the walls of any such extension shall not exceed the height of the rear wall of the house.

(b) Where the rear wall of the house includes a gable, the height of the walls of any such extension shall not exceed the height of the side walls of the house.

(c) The height of the highest part of the roof of any such extension shall not exceed, in the case of a flat roofed extension, the height of the eaves or parapet, as may be appropriate, or, in any other case, shall not exceed the height of the highest part of the roof of the dwelling.

5. The construction or erection of any such extension to the rear of the house shall not reduce the area of private open space, reserved exclusively for the use of the occupants of the house, to the rear of the house to less than 25 square metres.

6.

(a) Any window proposed at ground level in any such extension shall not be less than 1 metre from the boundary it faces.

(b) Any window proposed above ground level in any such extension shall not be less than 11 metres from the boundary it faces.

(c) Where the house is detached and the floor area of the extension above ground level exceeds 12 square metres, any window proposed at above ground level shall not be less than 11 metres from the boundary it faces.

7. *The roof of any extension shall not be used as a balcony or roof garden.*

Article 9 of the Planning and Development Regulations 2001, as amended sets out restrictions on exemptions and states:

9. (1) *Development to which article 6 relates shall not be exempted development for the purposes of the Act—*

(a) *if the carrying out of such development would—*

(viiB) *comprise development in relation to which a planning authority or An Bord Pleanála is the competent authority in relation to appropriate assessment and the development would require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site.*

(viii) *consist of or comprise the extension, alteration, repair or renewal of an unauthorised structure or a structure the use of which is an unauthorised use.*

3. ASSESSMENT

a. Site Location

The site is located at 18 Bulfin Crescent, Nenagh. It contains a mid-terrace dwelling and outbuildings

b. Relevant Planning History

2360416 – Planning permission granted for construction of an extension to the rear of the existing house, demolish existing sheds and Retention Permission for front porch constructed to the front of existing house along with all ancillary site works

c. Assessment

Pursuant to Section 5 of the Planning & Development Acts this report will examine whether the proposal constitutes a) development and b) exempted development.

A) “Is or is not Development”

It is considered that the above listed proposal constitutes “works” as understood by the Planning and Development Act 2000, as amended. The above listed proposals therefore constitute “development” within the meaning of the Planning and Development Act 2000, as amended.

B) “Is or is not Exempted Development”

Assessment against the conditions / limitations of Class 1:

1. (a) Where the house has not been extended previously, the floor area of any such extension shall not exceed 40 square metres. (b) Subject to paragraph (a), where the house is terraced or semi-detached, the floor area of any extension above ground level shall not exceed 12 square metres. (c) Subject to paragraph (a), where the house is detached, the floor area of any extension above ground level shall not exceed 20 square metres.

The proposal is for a single storey extension to a mid-terraced dwelling and it would have a floorarea of 32.5sqm. The house has not been previously extended.

2. (a) Where the house has been extended previously, the floor area of any such extension, taken together with the floor area of any previous extension or extensions constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 40 square metres.

The house has not been previously extended.

(b) Subject to paragraph (a), where the house is terraced or semi-detached and has been extended previously, the floor area of any extension above ground level taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 12 square metres.

The terraced house has not been previously extended, and the proposed is for a single storey rear extension.

(c) Subject to paragraph (a), where the house is detached and has been extended previously, the floor area of any extension above ground level, taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 20 square metres.

Not applicable as the proposal relates to a terraced dwelling.

3. Any above ground floor extension shall be a distance of not less than 2 metres from any party boundary.

Not applicable as the proposal relates to a ground floor extension only.

4.

(a) Where the rear wall of the house does not include a gable, the height of the walls of any such extension shall not exceed the height of the rear wall of the house.

The rear wall of the house does not include a gable and the height of the walls of the proposed extension would not exceed the height of the rear wall of the house.

(b) Where the rear wall of the house includes a gable, the height of the walls of any such extension shall not exceed the height of the side walls of the house.

Not applicable as the rear wall of the house does not include a gable.

(c) The height of the highest part of the roof of any such extension shall not exceed, in the case of a flat roofed extension, the height of the eaves or parapet, as may be appropriate, or, in any other case, shall not exceed the height of the highest part of the roof of the dwelling.

The proposed extension would have a flat roof, and the height of the roof of the proposed extension would not exceed the height of the eaves or parapet.

5. The construction or erection of any such extension to the rear of the house shall not reduce the area of private open space, reserved exclusively for the use of the occupants of the house, to the rear of the house to less than 25 square metres.

The extension would not reduce the area of private open space to the rear of the house to less than 25 sq m.

6. (a) Any window proposed at ground level in any such extension shall not be less than 1 metre from the boundary it faces.

(b) Any window proposed above ground level in any such extension shall not be less than 11 metres from the boundary it faces.

The proposed extension would feature 1 x window on the eastern elevation and 4 x windows and door on the western elevation.

The window on the eastern elevation would be less than 1 metre from the boundary it faces.

7. The roof of any extension shall not be used as a balcony or roof garden.

There is no proposal to use the roof of the extension as a balcony.

Other Comments

Demolition

The submitted plans show 2no. outbuildings in the rear garden of the subject property. Both of the buildings are detached from the dwelling. One of the outbuildings requires demolition in order to facilitate the proposed development. It is attached to the side wall of an outbuilding at a neighbouring property.

Class 50 of the Planning and Development Regulations 2001, as amended, reads as follows:

Class 50	Conditions / Limitations
(a) The demolition of a building, or buildings, within the curtilage of— i. a house, ii. an industrial building, iii. a business premises, or iv. a farmyard complex.	1. No such building or buildings shall abut on another building in separate ownership. 2. The cumulative floor area of any such building, or buildings, shall not exceed: (a) in the case of a building, or buildings within the curtilage of a house, 40 square metres, and (b) in all other cases, 100 square metres.
(b) The demolition of part of a habitable house in connection with the provision of an extension or porch in accordance with	3. No such demolition shall be carried out to facilitate development of any class prescribed for the purposes of section 176 of the Act.

Class 1 or 7, respectively, of this Part of this Schedule or in accordance with a permission for an extension or porch under the Act.	
---	--

The demolition of the existing outbuilding would appear to meet Conditions/ Limitations 2 and 3. However, in respect of Condition/ Limitation 1, the existing outbuilding is attached to another building in separate ownership. Therefore, the demolition of same is not exempt from the requirement for planning permission.

It is noted that the declaration request relates only to the construction of an extension and does not seek a declaration on whether or not permission would be required for the demolition of the existing outbuilding. As such, it is recommended that an advisory note be included to make the applicant aware of the conditions and limitations of Class 50.

C) Restrictions under Article 9

It is considered that no restrictions on exemptions under Article 9 of the Planning and Development Regulations 2001, as amended would apply.

D) Requirement for Appropriate Assessment (AA) and Environmental Impact Assessment (EIA)

Appropriate Assessment (AA)

The proposed development has been screened as to the requirement for AA and it has been determined that the requirement for Stage 2 AA does not arise. See Screening Report attached.

Environmental Impact Assessment (EIA):

The proposed development is not a type of development included for under Schedule 5 of the Planning and Development Regulations 2001, as amended. See screening report attached.

4. RECOMMENDATION

A question has arisen as to whether the following proposed development at No. 18 Bulfin Crescent, Nenagh is or is not exempted development:

- Ground floor extension consisting of master bedroom, ensuite toilet and shower room and connecting hallway to rear of existing two storey house

Tipperary County Council, in considering this proposal has had regard to:

- Sections 2, 3 and 4 of the Planning and Development Act, 2000, as amended,
- Articles, 6 and 9 of the Planning and Development Regulations 2001, as amended,
- Schedule 2, Part 1 Class 1 of the Planning and Development Regulations 2001 as amended.
- The declaration application and supporting information.
- The Planning history of the site.

Tipperary County Council has concluded that the *proposed extension*, is development and is **not exempted development.**

The proposal fails to satisfy condition / limitation 6(a) of Class 1 which stipulates that *Any window proposed at ground level in any such extension shall not be less than 1 metre from the boundary it faces.*

Advisory note to applicant

While it is noted that the declaration request relates only to the construction of a single storey rear extension, the applicant is advised to note the conditions and limitations associated with Class 50, Part 1 of Schedule 2, Planning & Development Regulations 2001, as amended, specifically that the demolition of an existing outbuilding which abuts an adjoining building in separate ownership is not exempted development.

District Planner:

Olive O'Donnell

Date: 10/03/2026

Senior Executive Planner:

Jonathan Flood

Date: 10/3/2026

HABITATS DIRECTIVE APPROPRIATE ASSESSMENT (AA) SCREENING REPORT

STEP 1. Description of the project/proposal and local site characteristics:

(a) File Reference No:	S5 26 16
(b) Brief description of the project or plan:	As per planners report
(c) Brief description of site characteristics:	As per planners report
(d) Relevant prescribed bodies consulted: e.g. DHLGH (NPWS), EPA, OPW	None
(e) Response to consultation:	N/a

STEP 2. Identification of relevant Natura 2000 sites using Source-Pathway-Receptor model and compilation of information on Qualifying Interests and conservation objectives.

European Site (code)	List of Qualifying Interest/Special Conservation Interest ¹	Distance from proposed development (km)	Connections (Source-Pathway-Receptor)	Considered further in screening Y/N
Slievefelim to Silvermines Mountains SPA	https://www.npws.ie/protected-sites/spa/004165	Within 15km	None	No
Silvermines Mt West SAC	https://www.npws.ie/protected-sites/sac/002258	Within 15km	None	No
Bolingbrook Hill SAC	https://www.npws.ie/protected-sites/sac/002124	Within 15km	None	No
Lower River Shannon SAC	https://www.npws.ie/protected-sites/sac/002165	Within 15km	None	No
Keeper Hill SAC	https://www.npws.ie/protected-sites/sac/001197	Within 15km	None	No
Lough Derg North East Shore	https://www.npws.ie/protected-sites/sac/002241	Within 15km	None	No
Lough Derg Shannon SPA	https://www.npws.ie/protected-sites/spa/04058	Within 15km	None	No
Silvermine Mountains SAC	https://www.npws.ie/protected-sites/sac/000939	Within 15km	None	No

STEP 3. Assessment of Likely Significant Effects

(a) Identify all potential direct and indirect impacts that may have an effect on the conservation

objectives of a European site, taking into account the size and scale of the project under the following headings:

Impacts:	Possible Significance of Impacts: (duration/magnitude etc.)
<p>Construction phase e.g.</p> <ul style="list-style-type: none"> • Vegetation clearance • Demolition • Surface water runoff from soil excavation/infill/landscaping (including borrow pits) • Dust, noise, vibration • Lighting disturbance • Impact on groundwater/dewatering • Storage of excavated/construction materials • Access to site • Pests 	None.
<p>Operational phase e.g.</p> <ul style="list-style-type: none"> • Direct emission to air and water • Surface water runoff containing contaminant or sediment • Lighting disturbance • Noise/vibration • Changes to water/groundwater due to drainage or abstraction • Presence of people, vehicles and activities • Physical presence of structures (e.g. collision risks) • Potential for accidents or incidents 	None.
In-combination/Other	None.

(b) Describe any likely changes to the European site:

<p>Examples of the type of changes to give consideration to include:</p> <ul style="list-style-type: none"> • Reduction or fragmentation of habitat area • Disturbance to QI species • Habitat or species fragmentation • Reduction or fragmentation in species density • Changes in key indicators of conservation status value (water or air quality etc.) • Changes to areas of sensitivity or threats to QI • Interference with the key relationships that define the structure or ecological function of the site 	None.
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(c) Are 'mitigation' measures necessary to reach a conclusion that likely significant effects can be ruled out at screening?

Yes No

STEP 4. Screening Determination Statement

The assessment of significance of effects:

Describe how the proposed development (alone or in-combination) is/is **not likely** to have **significant** effects on European site(s) in view of its conservation objectives.

On the basis of the information on file, which is considered adequate to undertake a screening determination and having regard to: the nature and scale of the proposed development, the proposed land use and distance from European sites, the lack of direct connections with regard to the Source-Pathway-Receptor model, it is concluded that the proposed development, individually or in-combination with other plans or projects, would not be likely to have a significant effect on the above listed European sites or any other European site, in view of the said sites' conservation objectives.

The proposed development is not likely to have significant effects.

Conclusion:

	Tick as Appropriate:	Recommendation:		
(i) It is clear that there is no likelihood of significant effects on a European site.	<input checked="" type="checkbox"/>	The proposal can be screened out: Appropriate assessment not required.		
(ii) It is uncertain whether the proposal will have a significant effect on a European site.	<input type="checkbox"/>	<input type="checkbox"/> Request further information to complete screening <input type="checkbox"/> Request NIS <input type="checkbox"/> Refuse planning permission		
(iii) Significant effects are likely.	<input type="checkbox"/>	<input type="checkbox"/> Request NIS <input type="checkbox"/> Refuse planning permission		
Signature and Date of Recommending Officer:	Olive O'Donnell	<table border="1"> <tr> <td>Date:</td> <td>10/03/2026</td> </tr> </table>	Date:	10/03/2026
Date:	10/03/2026			

EIA Pre-Screening Establishing a development is a 'sub-threshold development'			
File Reference:	S5 26 16		
Development Summary:	As per planners report		
Was a Screening Determination carried out under Section 176A-C?	<input type="checkbox"/> Yes, no further action required <input checked="" type="checkbox"/> No, Proceed to Part A		
A. Schedule 5 Part 1 - Does the development comprise a project listed in Schedule 5, Part 1, of the Planning and Development Regulations 2001 (as amended)? (Tick as appropriate)			
<input type="checkbox"/> Yes, specify class _____		EIA is mandatory No Screening required	
<input checked="" type="checkbox"/> No		Proceed to Part B	
B. Schedule 5 Part 2 - Does the development comprise a project listed in Schedule 5, Part 2, of the Planning and Development Regulations 2001 (as amended) and does it meet/exceed the thresholds? (Tick as appropriate)			
No, the development is not a project listed in Schedule 5, Part 2		No Screening required	
<input type="checkbox"/> Yes the project is listed in Schedule 5, Part 2 and meets/exceeds the threshold, specify class (including threshold): _____		EIA is mandatory No Screening required	
<input checked="" type="checkbox"/> Yes the project is of a type listed but is <i>sub-threshold</i> : ___ Class 10 (b) (i) of Part 2 of Schedule 5 of the Planning and Development Regulations 2001, as amended		Proceed to Part C	
C. If Yes, has Schedule 7A information/screening report been submitted?			
<input type="checkbox"/> Yes, Schedule 7A information/screening report has been submitted by the applicant		Screening Determination required	
<input checked="" type="checkbox"/> No, Schedule 7A information/screening report has not been submitted by the applicant		Preliminary Examination required	
Signature and Date of Recommending Officer:	Olive O'Donnell	Date:	10/03/2025

Original

TIPPERARY COUNTY COUNCIL

DELEGATED EMPLOYEE'S ORDER

File Ref: **S5/26/16** **Delegated Employee's Order No:** _____

SUBJECT: Section 5 Declaration

I, Brian Beck, Director of Services, Tipperary County Council, by virtue of the powers delegated to me in accordance with the provisions of Section 154 of the Local Government Act 2001, as amended by Schedule 1, Part 1 of the Local Government Reform Act 2014 under Chief Executive's Order No. 44188 dated 3rd October, 2025, hereby order that pursuant to the provisions of the Planning and Development Act 2000, as amended, that an application under Section 5 from Pauline Sheedy, C/O Helen Sheedy, 7 Ormond Keep, Nenagh, Co Tipperary Re: Ground floor extension consisting of master bedroom, ensuite toilet and shower room and connecting hallway to rear of existing two storey house at 18 Bulfin Crescent, Nenagh, Co Tipperary is development and is exempted development.

AND WHEREAS Tipperary County Council, in considering this referral, had regard particularly to –

- Sections 2, 3 and 4 of the Planning and Development Act, 2000, as amended,
- Articles, 6 and 9 of the Planning and Development Regulations 2001, as amended,
- Schedule 2, Part 1 Class 1 of the Planning and Development Regulations 2001 as amended.
- The declaration application and supporting information.
- The Planning history of the site.

Tipperary County Council has concluded that the *proposed extension*, is development and is **not exempted development**.

Signed:



Brian Beck
Director of Services

Date: 13/3/2026



Comhairle Contae Thiobraid Árann
Tipperary County Council

Comhairle Contae
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Oifigí Cathartha,
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e customerservice
@tipperarycoco.ie
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Date: 13th March 2026

Our Ref: S5/26/16

Civic Offices, Nenagh

**Pauline Sheedy
C/O Helen Sheedy
7 Ormond Keep
Nenagh
Co Tipperary**

Re: Declaration under Section 5 of the Planning and Development Act 2000, as amended.

Dear Madam,

I refer to your application for a Section 5 Declaration received on 17th February 2026 in relation to the following proposed works:

Ground floor extension consisting of master bedroom, ensuite toilet and shower room and connecting hallway to rear of existing two storey house at 18 Bulfin Crescent, Nenagh, Co Tipperary.

WHEREAS a question has arisen as to whether the proposed development is or is not exempted development:

AND WHEREAS Tipperary County Council, in considering this referral, had regard particularly to –

- Sections 2, 3 and 4 of the Planning and Development Act, 2000, as amended,
- Articles, 6 and 9 of the Planning and Development Regulations 2001, as amended,
- Schedule 2, Part 1 Class 1 of the Planning and Development Regulations 2001 as amended.
- The declaration application and supporting information.
- The Planning history of the site.

Tipperary County Council has concluded that the *proposed extension*, is development and is **not exempted development**.

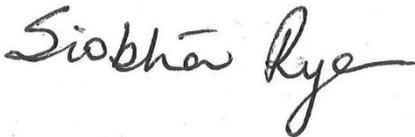
The proposal fails to satisfy condition / limitation 6(a) of Class 1 which stipulates that *Any window proposed at ground level in any such extension shall not be less than 1 metre from the boundary it faces.*

Advisory note to applicant

While it is noted that the declaration request relates only to the construction of a single storey rear extension, the applicant is advised to note the conditions and limitations associated with Class 50, Part 1 of Schedule 2, Planning & Development Regulations 2001, as amended, specifically that the demolition of an existing outbuilding which abuts an adjoining building in separate ownership is not exempted development.

NOTE: Any person issued with a Declaration of a Planning Authority may refer the Declaration for review to An Coimisiún Pleanála, 64 Marlborough Street, Dublin 1, within four (4) weeks of the date of issue of the Declaration and on payment of the prescribed fee.

Yours sincerely

A handwritten signature in black ink that reads "Siobhán Rye". The signature is written in a cursive style with a long, sweeping tail on the letter 'y'.

for **Director of Services**