



Tipperary County Council
RECEIVED
16 APR 2026
CASH OFFICE
Civic Offices, Clonmel

PLANNING & DEVELOPMENT ACT, 2000 (as amended)

Application for a Section 5 Declaration
Development / Exempted Development

1. Applicant's address/contact details:

Applicant	Health Service Executive
Address	Lacken, Dublin Road, Kilkenny.
Telephone No.	N/A
E-mail	N/A

2. Agent's (if any) address:

Agent	W. O. Morrissey & Son, Architects,
Address	Thomas Street, Clonmel, Co. Tipperary.
Telephone No.	[REDACTED]
E-mail	[REDACTED]
Please advise where all correspondence in relation to this application is to be sent;	
Applicant []	Agent [<input checked="" type="checkbox"/>]

Receipt No 202 810
Issued 16 Oct 2026
€80.00 Cheque

TIPPERARY CO. COUNCIL
RECEIVED
16 APR 2026
PLANNING SECTION
FILE NO. 55/26/54

3. Location of Proposed Development:

<i>Postal Address or Townland or Location (as may best identify the land or structure in question)</i>	St. Patrick's Hospital, Cahir Road, Cashel, Co. Tipperary.
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4. Development Details:

Please provide details of the proposed development for which an exemption under Section 5 of the Planning and Development Act is applied for.

(Note: only works and uses listed and described under this section will be assessed under this Section 5 Application. Use additional sheets if required.)

ALTERATIONS AND REFURBISHMENT/CONSERVATION WORKS TO THE EXISTING HEALTHCARE BUILDING TO ACCOMMODATE DAYCARE AND THERAPY SERVICES AND TO CONSERVE AND RESTORE CHARACTER TO THE PROTECTED STRUCTURE

Proposed floor area of proposed works/uses: 1,227 sqm

SHADED GREY 367M²

SHADED GREEN
GROUND STOREY 465M²

SHADED GREEN
UPPER STOREY 395M²

5. Legal Interest of Applicant in the Land or Structure:

<i>Please tick appropriate box to show applicant's legal interest in the land or structure</i>	A. Owner <input checked="" type="checkbox"/>	B. Occupier
	C. Other	
<i>Where legal interest is 'Other', please expand further on your interest in the land or structure</i>		
<i>If you are not the legal owner, please state the name and address of the owner</i>	Name: Address:	

GUIDANCE NOTES

- (1) All queries on the form must be completed and the form must be accompanied by the relevant fee. The amount of the fee is currently **€80.00**.
- (2) This application should be accompanied by **TWO COPIES** of the following documentation
- OSI Site Location Map with the site outlined clearly – 1:1000 in urban areas and 1:2500 in rural areas
 - Floor Plans & Elevations at a scale of not less than 1:200
 - Site layout plan indicating position of proposed development relative to premises and adjoining properties
 - Other details e.g. brochures, photographs if appropriate.
- (All dimensions must be given in metric scale and drawings should be accompanied by a brief description outlining the use of the proposed development)
- (3) Where a proper and complete application is received, a decision must be conveyed to the applicant within four (4) weeks except where additional necessary information is required.

This application form and relevant fee should be submitted to:

Planning Section, Tipperary County Council, Civic Offices, Limerick Road, Nenagh, Co. Tipperary	OR	Planning Section, Tipperary County Council, Civic Offices, Emmet Street, Clonmel, Co. Tipperary
Enquires:		
Telephone 0818 065000		
E-Mail planning@tipperarycoco.ie		

FOR OFFICE USE ONLY	
Fee Recd. € <u>80.00</u>	DATE STAMP TIPPERARY CO. COUNCIL RECEIVED 16 APR 2026 PLANNING SECTION FILE NO. 55/26/54
Receipt No <u>202810</u>	
Date <u>16/04/2026</u>	
Received by <u>C. Anon</u>	

Signature of Applicant

Date: 16/04/2026

Peter Morrissey B. Arch., F.R.I.A.I.

Architect Accredited in Conservation – Grade 3

W. O. Morrissey & Son, Architects

Thomas Street

Clonmel

Co. Tipperary

Note: If the proposed development consists of works to a (Proposed) Protected Structure and/or any structure within the curtilage of a (Proposed) Protected Structure, an application for a Section 57 Declaration may be more appropriate.

**W. O. MORRISSEY & SON
ARCHITECTS**

THOMAS STREET
CLONMEL
CO. TIPPERARY
Eircode E91 P210

PETER MORRISSEY B. ARCH., F.R.I.A.I.
Architect Accredited in Conservation – Grade 3
Chartered Member R.I.B.A.

Tel: (052) 6121621/6123022
e-mail: info@morrisseyarchitects.ie

16 April 2026

Planning Section,
Tipperary Co. Council,
Civic Offices,
Emmet Street,
Clonmel,
Co. Tipperary

**Re: Proposed Alterations and Refurbishment/Conservation Works
to parts of the existing Building
at St. Patrick's Hospital, Cashel, Co. Tipperary
Application for a Declaration of Exempted Development
Section 5 – Planning and Development 2000 (as Amended)**

A Chairde,

I attach the Application Form with Location Map for a Section 5 Declaration on the Proposed Alterations and Refurbishment/Conservation Works at St. Patrick's Hospital, Cashel, Co. Tipperary.

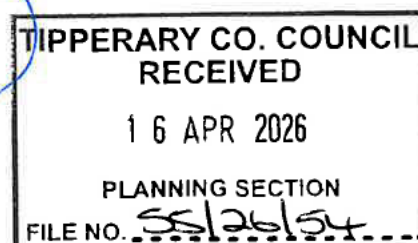
I also attach Supporting Documents/Report including Photographs and Drawings.

I also enclose our cheque in the sum of €80.00, being the Application Fee.

Is mise le meas

W. O. MORRISSEY & SON

CC PADRAIC DELANEY via email
CC JOHN POWER via email

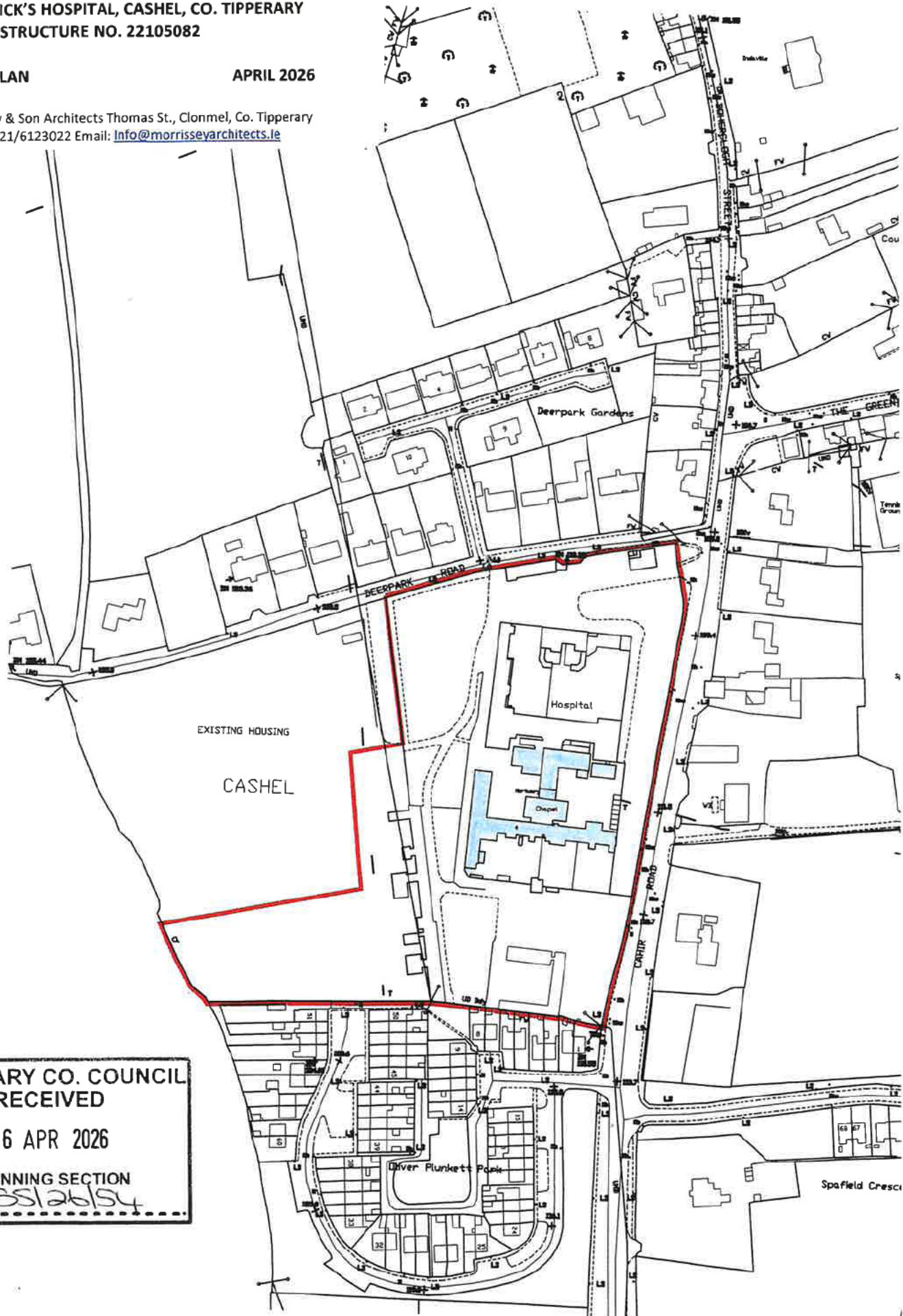


**PROPOSED ALTERATIONS AND REFURBISHMENT WORKS
TO ST. PATRICK'S HOSPITAL, CASHEL, CO. TIPPERARY
PROTECTED STRUCTURE NO. 22105082**

LOCATION PLAN

APRIL 2026

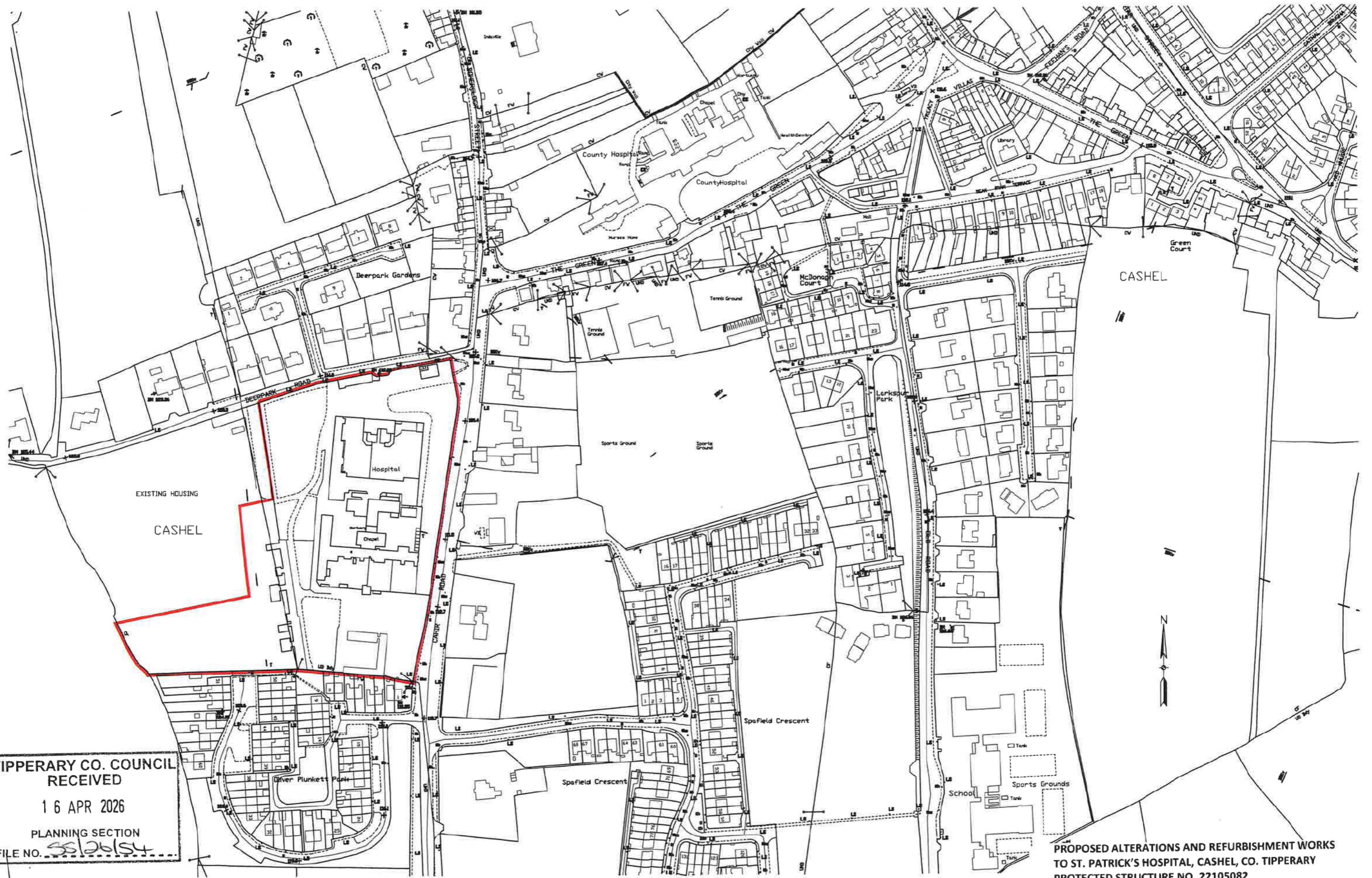
W. O. Morrissey & Son Architects Thomas St., Clonmel, Co. Tipperary
Tel. (052)6121621/6123022 Email: Info@morrisseyarchitects.ie



**TIPPERARY CO. COUNCIL
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16 APR 2026
PLANNING SECTION
FILE NO. 35126154

SITE LOCATION MAP scale 1:2500

TAILTE EIREANN - LICENCE NO. CYAL50519589



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PROPOSED ALTERATIONS AND REFURBISHMENT WORKS
 TO ST. PATRICK'S HOSPITAL, CASHEL, CO. TIPPERARY
 PROTECTED STRUCTURE NO. 22105082

SITE LOCATION MAP scale 1:2500

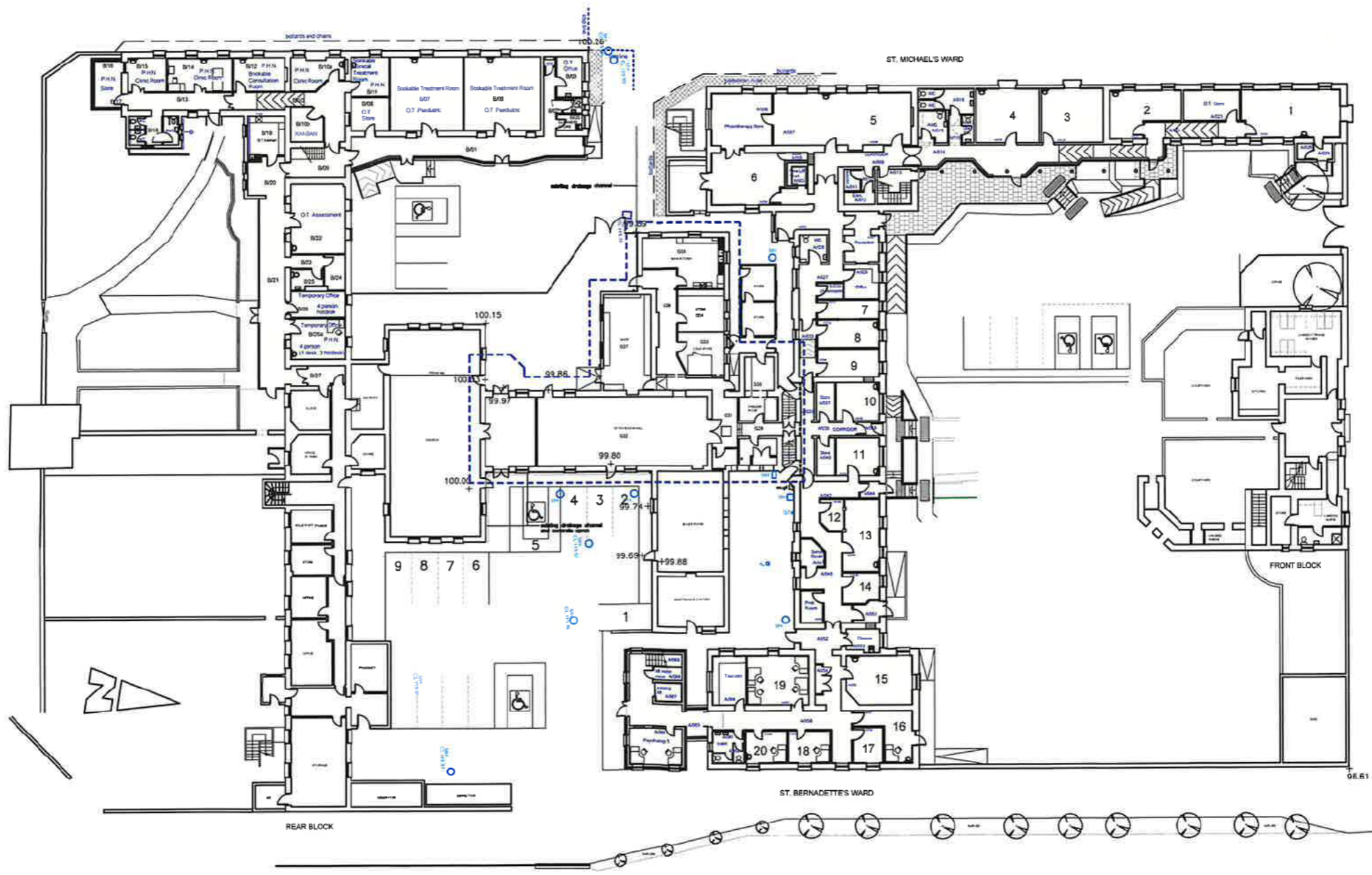
LOCATION PLAN

APRIL 2026

TAILTE EIREANN - LICENCE NO. CYAL50519589

W. O. Morrissey & Son Architects Thomas St., Clonmel, Co. Tipperary
 Tel. (052)6121621/6123022 Email: Info@Morrisseyarchitects.ie

IN USE



GROUND FLOOR PLAN

TIPPERARY CO. COUNCIL
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PLANNING SECTION
FILE NO. 55/26/54

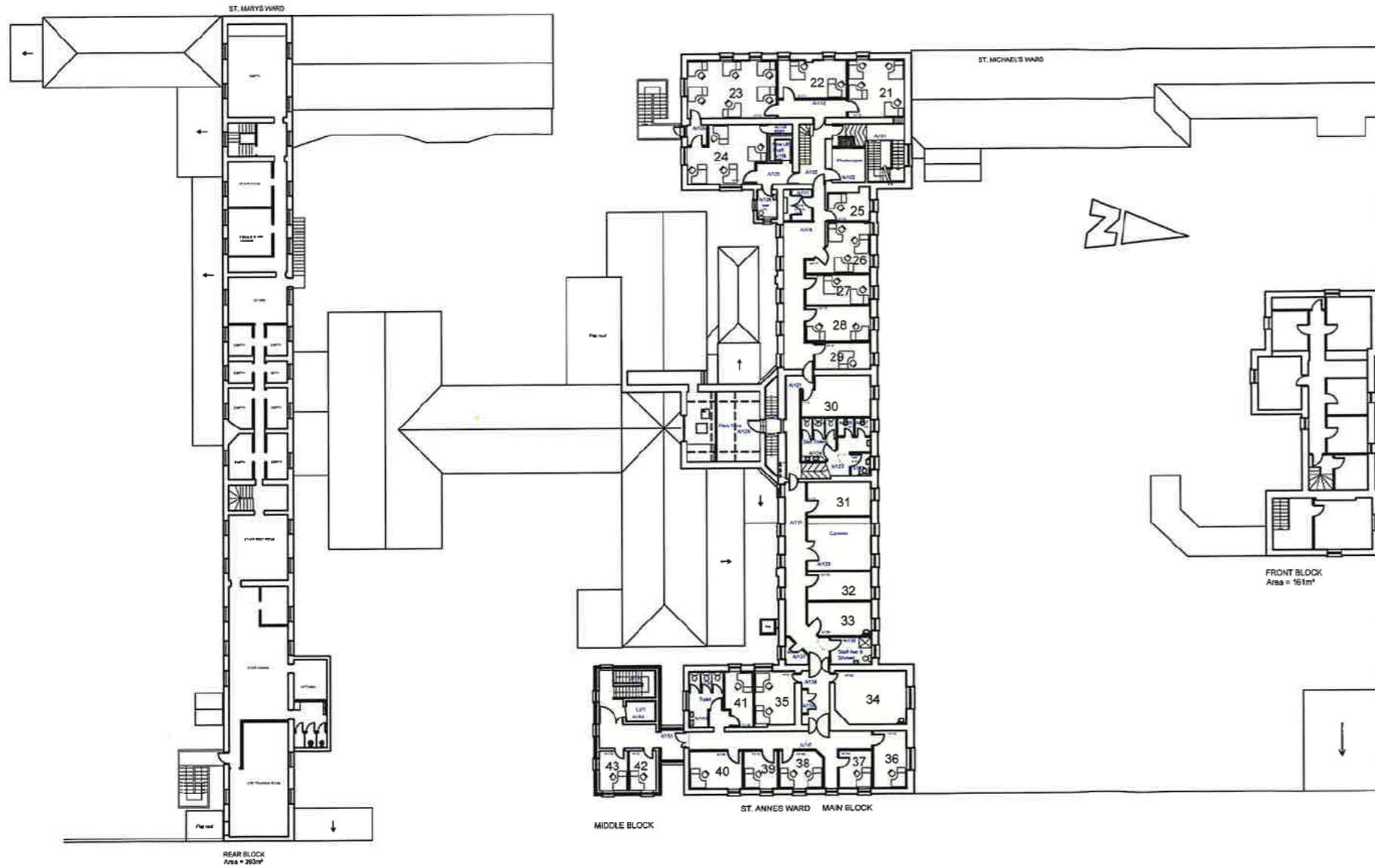
PROPOSED ALTERATIONS AND REFURBISHMENT WORKS
TO ST. PATRICK'S HOSPITAL, CASHEL, CO. TIPPERARY
PROTECTED STRUCTURE NO. 22105082

GROUND FLOOR PLAN
EXISTING

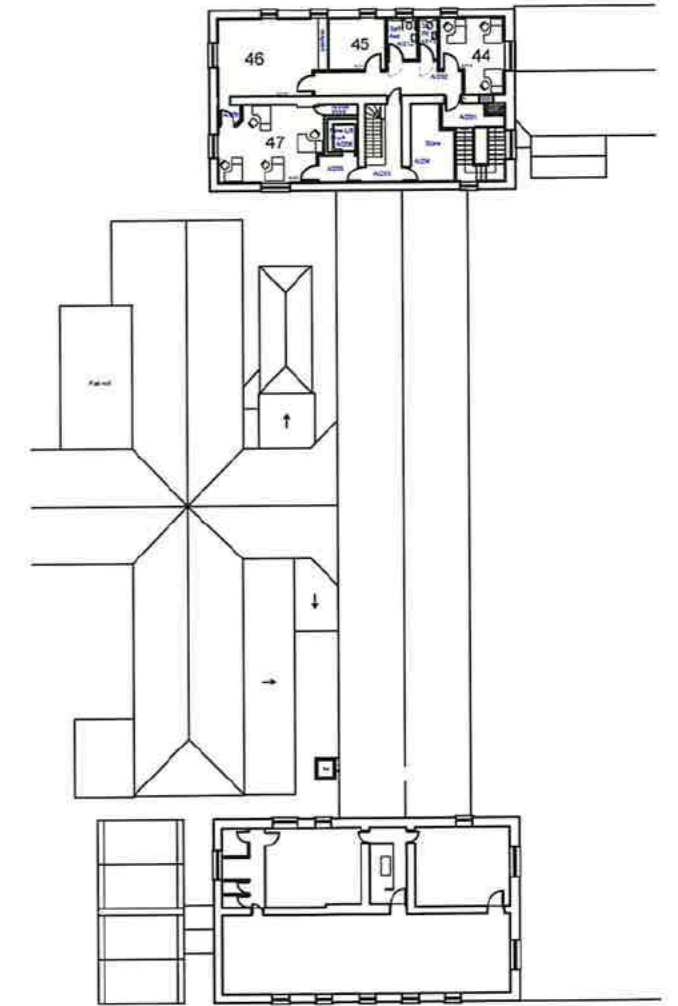
APRIL 2026

W. O. Morrissey & Son Architects Thomas St., Clonmel, Co. Tipperary
Tel. (052)6121621/6123022 Email: info@Morrisseyarchitects.ie

IN USE



FIRST FLOOR PLAN



SECOND FLOOR PLAN

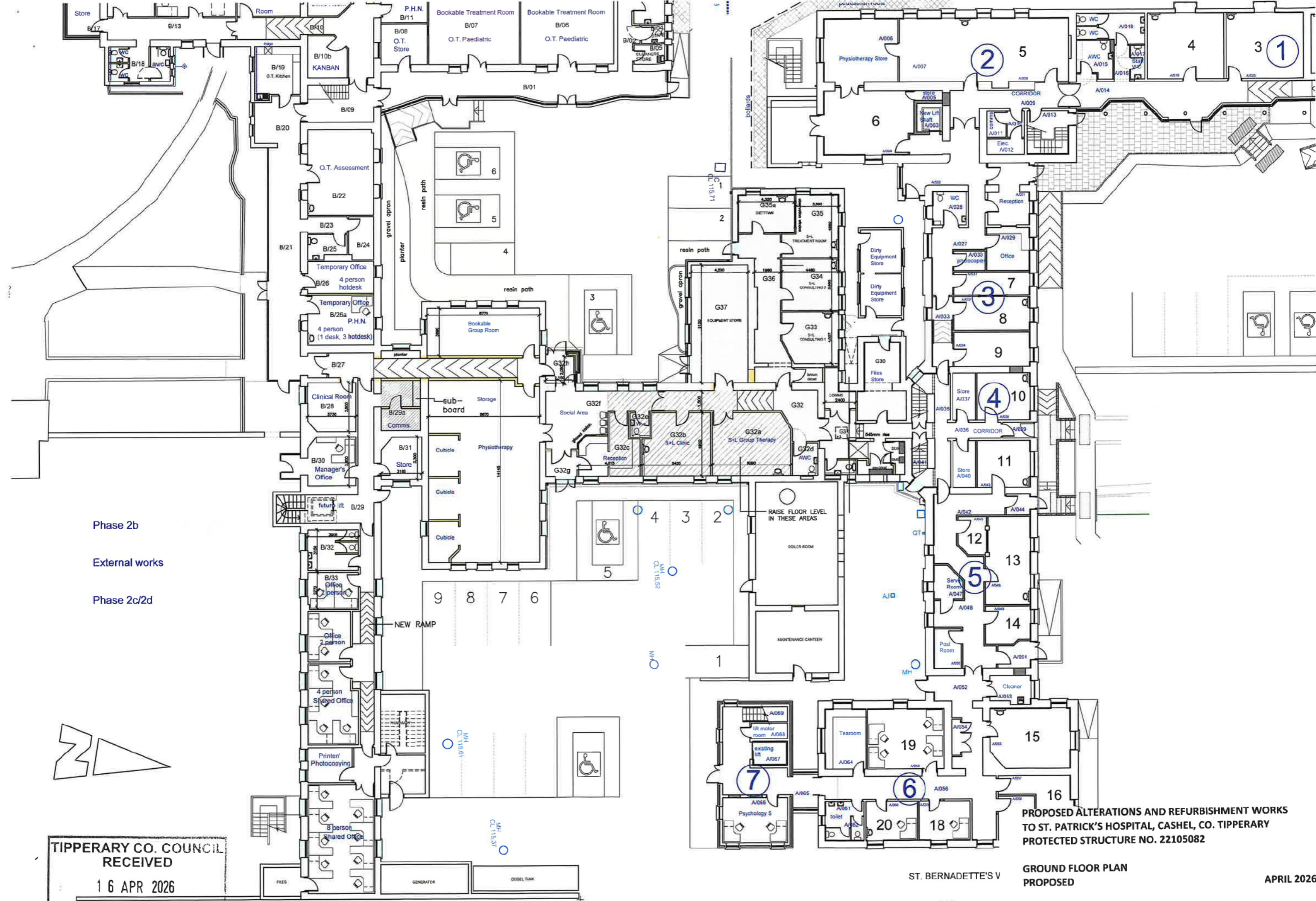
TIPPERARY CO. COUNCIL
RECEIVED
16 APR 2026
PLANNING SECTION
FILE NO. 22/2454

PROPOSED ALTERATIONS AND REFURBISHMENT WORKS
TO ST. PATRICK'S HOSPITAL, CASHEL, CO. TIPPERARY
PROTECTED STRUCTURE NO. 22105082

FIRST AND SECOND FLOOR PLANS
EXISTING

APRIL 2026

W. O. Morrissey & Son Architects Thomas St., Clonmel, Co. Tipperary
Tel. (052)6121621/6123022 Email: Info@Morrisseyarchitects.ie



PROPOSED ALTERATIONS AND REFURBISHMENT WORKS
TO ST. PATRICK'S HOSPITAL, CASHEL, CO. TIPPERARY
PROTECTED STRUCTURE NO. 22105082

GROUND FLOOR PLAN
PROPOSED

APRIL 2026

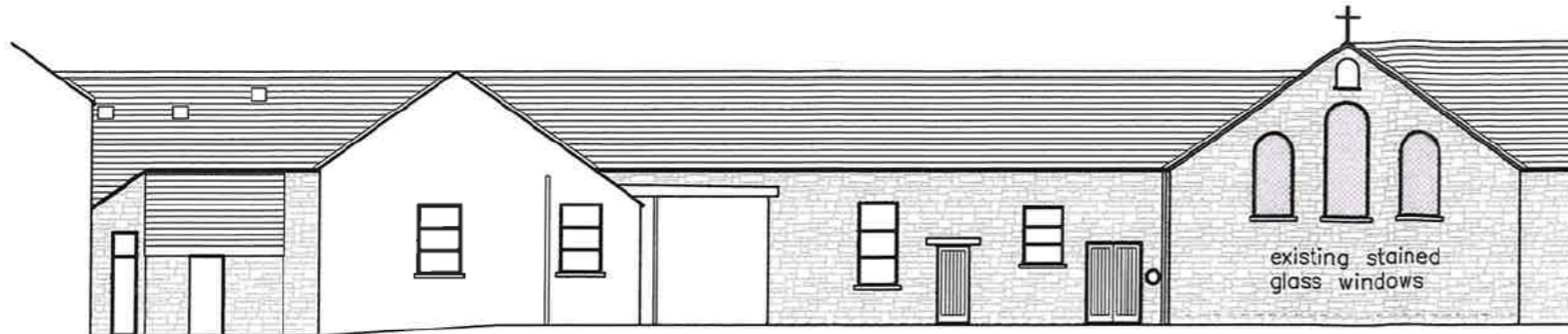
W. O. Morrissey & Son Architects Thomas St., Clonmel, Co. Tipperary
Tel. (052)6121621/6123022 Email: Info@Morrisseyarchitects.ie

TIPPERARY CO. COUNCIL
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16 APR 2026
PLANNING SECTION
FILE NO. SS126194

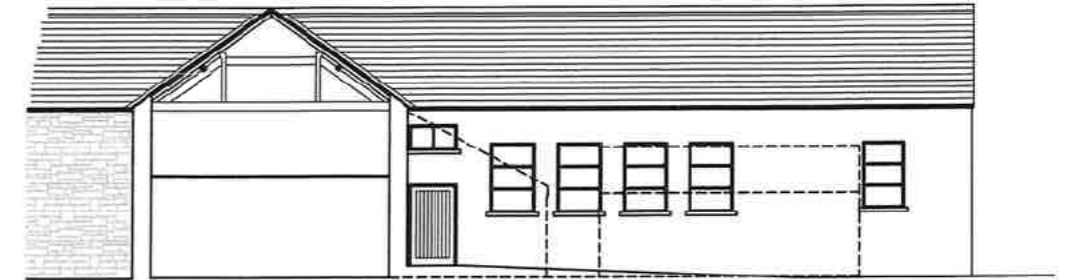
REAR BLOCK

99.41

ST. BERNADETTE'S V



WEST ELEVATION
EXISTING



NORTH ELEVATION
EXISTING



WEST ELEVATION
PROPOSED



NORTH ELEVATION
PROPOSED

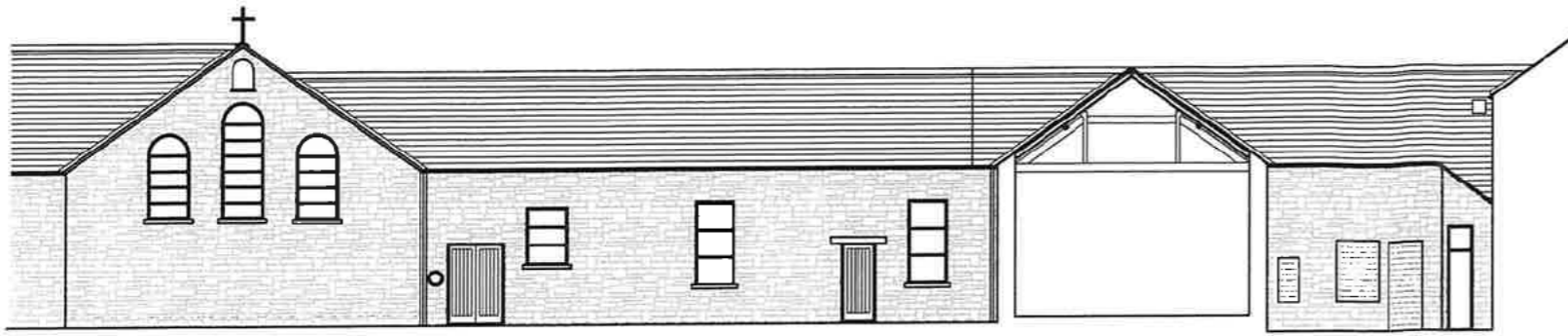
TIPPERARY CO. COUNCIL
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PROPOSED ALTERATIONS AND REFURBISHMENT WORKS
TO ST. PATRICK'S HOSPITAL, CASHEL, CO. TIPPERARY
PROTECTED STRUCTURE NO. 22105082

WEST AND NORTH ELEVATIONS
EXISTING AND PROPOSED

APRIL 2026

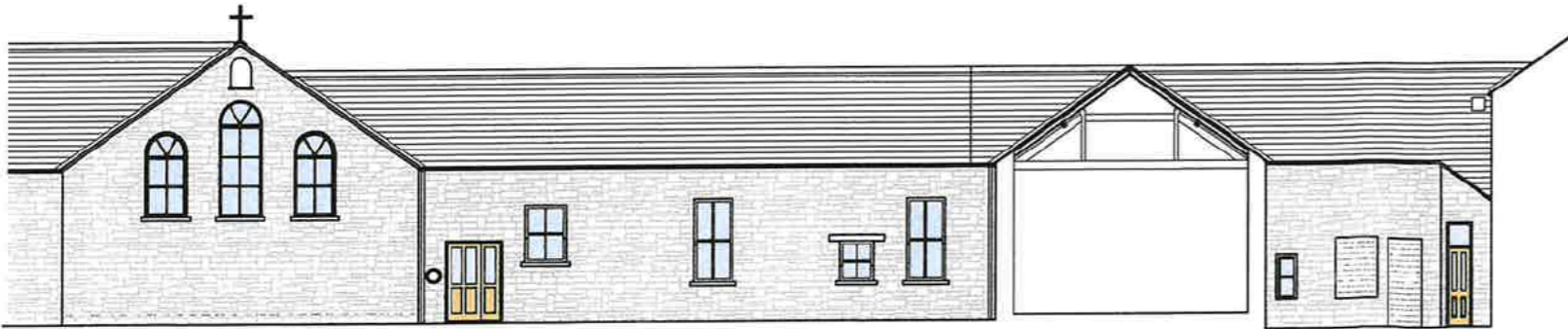
W. O. Morrissey & Son Architects Thomas St., Clonmel, Co. Tipperary
Tel. (052)6121621/6123022 Email: Info@morrisseyarchitects.ie



EAST ELEVATION
EXISTING



SOUTH ELEVATION
EXISTING



EAST ELEVATION
PROPOSED



SOUTH ELEVATION
PROPOSED

TIPPERARY CO. COUNCIL
RECEIVED
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PLANNING SECTION
FILE NO. 55/26/54

PROPOSED ALTERATIONS AND REFURBISHMENT WORKS
TO ST. PATRICK'S HOSPITAL, CASHEL, CO. TIPPERARY
PROTECTED STRUCTURE NO. 22105082

EAST AND SOUTH ELEVATIONS
EXISTING AND PROPOSED

APRIL 2026

W. O. Morrissey & Son Architects Thomas St., Clonmel, Co. Tipperary
Tel. (052)6121621/6123022 Email: Info@morrisseyarchitects.ie

**PROPOSED ALTERATIONS AND REFURBISHMENT/CONSERVATION
WORKS**

**TO PARTS OF THE EXISTING BUILDING
AT ST. PATRICK'S HOSPITAL, CASHEL, CO. TIPPERARY
PROTECTED STRUCTURE NO. 22105082**

**APPLICATION FOR DECLARATION OF EXEMPTED DEVELOPMENT
SECTION 5 – PLANNING & DEVELOPMENT ACT 2000 (AS AMENDED)**

ON BEHALF OF THE HEALTH SERVICE EXECUTIVE



DOCUMENTS SUPPORTING THE APPLICATION

**W. O. MORRISSEY & SON
ARCHITECTS**

THOMAS STREET

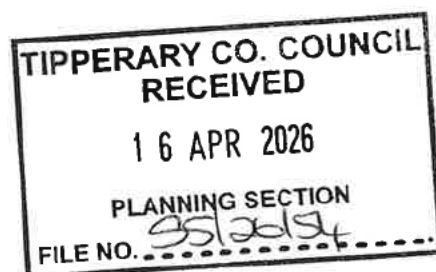
CLONMEL

CO. TIPPERARY

TEL. (052)6121621/6123022

Email: info@morrisseyarchitects.ie

APRIL 2026





Part of Former Hall and Church
East Side

**PROPOSED ALTERATIONS AND REFURBISHMENT/CONSERVATION
WORKS
TO PARTS OF THE EXISTING BUILDING
AT ST. PATRICK'S HOSPITAL, CASHEL, CO. TPPERARY
PROTECTED STRUCTURE NO. 22105082**

**APPLICATION FOR DECLARATION OF EXEMPTED DEVELOPMENT
SECTION 5 – PLANNING & DEVELOPMENT ACT 2000 (AS AMENDED)**

ON BEHALF OF THE HEALTH SERVICE EXECUTIVE

A. DOCUMENTS INCLUDED

Documents Supporting the Application for a Section 5 Declaration include:

- The Application Form,
Which I have duly Completed and Signed.
- This written Report
with Photographs
- Drawings showing the Existing Building and the Proposed Works.
- Our cheque for €80.00 is also included.

B. INTRODUCTION

St. Patrick's Hospital, dating from c.1845 is a Protected Structure of Regional Importance.

Categories of Interest are "Architectural and Social".

Built originally as a Workhouse, it subsequently became a County Home.

Up to 2020 part of it was used as a Residential Care Centre.

The Upper Storey of the back (South) Block has been vacant for some time.

The East end of that Block is vacant on the Ground Storey also.

Following the onset of Covid in 2020, the Main Building on St. Patrick's Campus was deemed unsuitable for Residential Care and the Residents/Patients were transferred to Our Lady's Hospital.



Central Car Park – Looking South



Central Car Park – Looking West

Short-Term Residential Care/Rehabilitation continues on St. Patrick's Campus in other Buildings.

When the Building was vacated in 2020, the H.S.E. commenced a Programme of Alterations and Refurbishment/Conservation Works so that the Building can continue in use for Health Care.

The Initial Stage (Phases 1 & 2A), to accommodate Services displaced from Our Lady's Hospital was completed in 2021.

Work on Phase 2B commenced in 2022 but was paused, pending Availability of Funding.

The H.S.E. is now in a position to resume Work this Summer and to continue the Work, in Stages, to Alter and Refurbish the full Building.

It is envisaged that the Work to proceed during 2026 will include Completion of Phase 2B (shaded Grey on Plan) and following with 2C, Ground Storey (shaded Green on Plan).

The Upper Storey of the South Block, together with New Lift for that Block and Replacement of the Front Extension on that Block would follow.

At present, those parts of the Building are unfit for use so the Proposed Works are essential to make the full Building usable and to extend the life of the Protected Structure.

B.2 REASONS FOR APPLICATION FOR A SECTION 5 DECLARATION OF EXEMPTION

This Section 5 Declaration is required for the following reasons:

- Parts of the Building have been Altered and Refurbished and are in use. The remaining parts of the Building are unsuitable for use. They need Upgrading, Repair and Refurbishment to make the Building weather tight and to improve its Energy Performance. Full Renewal of the Building Services Installations forms part of the Works Programme.

The Proposed Works will Conserve, and (through Windows Replacement) Restore Character to the Protected Structure.



East Inner Yard
Looking West



West Inner Yard
Looking East

C. PROPOSAL

The Proposal is to continue and Complete the Work of Altering, Refurbishing and Conserving the Existing Building so that it will meet the Accommodation Needs of the Service Users, and Provide a Comfortable Working Environment, while Retaining and Enhancing the Character of the Protected Structure.

Proposed Works include the following:

Alterations to Internal Layout, to suit the needs of the Proposed Service Users.

Those will include:

Removal of some Partitions and Construction of new Partitions, complete with Door Assemblies etc.

Altering of Opes; Forming Ramps; Installing a Platform Lift, Raising parts of the Floor in the Former St. Patrick's Hall, to match those in Adjoining Areas; Construction of a small Entrance Lobby.

Works of Repair, Upgrading/Refurbishment/Conservation and Restoration of Character and Improvement of Energy Performance.

Those will include:

Removal of Existing Aluminium (and some PVC) Windows.

Providing and Installing New Sliding Sash Windows, in Hardwood, Painted, Double-Glazed in High Energy Performance Thin Glazing and having a Glazing Pattern which will reflect the Heritage Status of the Building.

Installing New Eternal Doorsets in Hardwood, Painted.

Open Joints in exposed Stonework, eternally, will be carefully cleaned out and Re-Jointed in Lime Mortar.

- Alterations in Phase 2B will be mainly concentrated in the Former St. Patrick's Hall, which will be Sub-Divided with Partitions to form the required Accommodation and to form a Link Corridor from the Front Building to the Back.

This will include Forming a Ramp and Raising Floor Levels in some Rooms. As far as practicable, those changes will be reversible.

A small External Lobby will be formed to serve as a Link.



Former Hall
West Side

Changes to the Approach to the former Hall from the Front Building will include Installation of a Platform Lift, for Accessibility.

- Repairs/Reinstatement Works to Building Fabric will include;
Making Good to Roof Structure as required, Stripping and Re-Slating (in Natural Slate) Sections of Roof where the existing Slating is in poor condition;
Replacement of Damaged Cast Iron Rainwater Goods and Repairs to Existing,
Replacing Seamless Aluminium Rainwater Goods with New Cast Rainwater Goods Pre-Finished in Black;
Carefully Raking out open Joints in Stonework externally and Re-Jointing in Lime Mortar Finished Flush to match existing.
- Cleaning out Attic Areas;
Installing Crawl Boards; Insulating (and Ventilating) Attic Areas;
Repairs to Ceilings and Provision of New Ceilings in some Locations; Repairs to Walls and Partitions;
Supply and Installation of New Door Assemblies, Skirtings, Architraves, Linings and Trim; New Floor Finishes; Painting and Decoration.
- Upgrading/Repairing, Commissioning and Certifying the Building Services Installations including Heating, Ventilation, Plumbing & Sanitary, Electrical including Power & Data, Lighting, Emergency Lighting including Exit and Escape Lighting, Fire Detection & alarm Installation; Intruder Alarm Installation etc.
- External Works will include Forming Sloped Access and Landings to External Doors, Alterations to Drainage and Water Services to serve the Altered Building;
Making Good to Roads, Paths & Parking Areas etc., Marking Parking Areas (where shaded Yellow on Plan).

E. DRAWINGS & PHOTOGRAPHS

These show the Existing and Proposed Plans, and Elevations and Photographs of the Existing Building.



South Block



Comhairle Contae Thiobraid Árann
Tipperary County Council

Comhairle Contae
Thiobraid Árann,
Oifigí Cathartha,
Cluain Meala,
Co. Thiobraid Árann
Tipperary County Council,
Civic Offices, Clonmel,
Co. Tipperary
E91 N512

Comhairle Contae
Thiobraid Árann,
Oifigí Cathartha,
An tAonach,
Co. Thiobraid Árann
Tipperary County Council,
Civic Offices, Nenagh,
Co. Tipperary
E45 A099

t 0818 06 5000/601
e customerservice
@tipperarycoco.ie
tipperarycoco.ie

Date: 16th April 2026 Our Ref: S5/26/54 Civic Offices, Clonmel

Health Service Executive,
C/O W.O. Morrissey & Sons,
Thomas Street,
Clonmel,
Co. Tipperary,
E91 P210.

Re: Application for a Section 5 Declaration – Alterations and refurbishment / conservation works to the existing health care building to accommodate daycare and therapy services and to conserve and restore character to the protected structure at St. Patricks Hospital, Cahir Road, Cashel, Co. Tipperary.

Dear Mr. Morrissey,

I acknowledge receipt of your application for a Section 5 Declaration received on 16th April 2026 in connection with the above.

I wish to advise that you will be notified of a decision on your application in due course.

Yours sincerely,

for **Director of Services**

Section 5 St Patricks hospital Cashel

From Butler-Ryan, Lauren [REDACTED]

Date Fri 08/05/2026 13:14

To Butler-Ryan, Lauren [REDACTED]

From: Hunter, Eamonn [REDACTED]

Sent: Thursday, May 07, 2026 18:40

To: Butler-Ryan, Lauren [REDACTED]

Subject: Section 5 St Patricks hospital Cashel

Hi Lauren,

Drawings, photographs and proposed schedule of works that accompany this application are a bit vague from my limited assessment of them but in general, I don't see any particular red flags.

There would need to be more information on the detail of the proposed porch, especially how the junction between new and old buildings will be treated to ensure their different structural behaviours will be accommodated while ensuring that no new moisture ingress vulnerability is created. Without this, it can't be demonstrated that the proposed works will not have a material impact on the protected structure.

More detail is also required for any proposed new openings or changes of floor levels to form ramps etc. This is to demonstrate that interference with historic fabric will be minimised, works will be reversible, appropriate materials and techniques will be used and there will be adequate recording and oversight of the works to ensure that there will be no unacceptable material changes to the character of the protected structure.

There is no record provided of the interior condition of the building where new floor structures and finishes, new wall and ceiling finishes and service installation is proposed. If modern fabric is being replaced by more modern fabric, that has no impact on the protected structure but if there is going to be loss of historic fabric or any new vulnerability to the surviving historic fabric as a result of the proposed works, that is a material impact and requires planning permission.

Replacement of the existing modern window frames and gutters is fine but there isn't enough information to determine if damage won't be done to the existing openings or eaves in the process. Infill of doorways to create windows also needs to avoid damage to the existing openings or surrounding masonry.

Generally, I would have thought that if extensions, new openings and complete change of internal surfaces or layout are proposed, the section 5 application should be accompanied by a comprehensive level of detail for the schedule of works and methodology proposed for all works to historic fabric. Without this, it can't be demonstrated that there will be no material change and planning permission would be required.

Talk to you any time tomorrow -



Regards
Eamonn

TIPPERARY COUNTY COUNCIL

Application for Declaration under Section 5

Planning & Development Act 2000, as amended
Planning & Development Regulations 2001, as amended

Planning Reference:	S5/26/54
Applicant:	Health Service Executive
Development Address:	St. Patricks Hospital, Cahir Road, Cashel, Co. Tipperary
Proposed Development:	Alterations and refurbishment / conservation works to the existing health care building to accommodate daycare and therapy services and to conserve and restore character to the protected structure.

1. GENERAL

On the 16th April 2026 a request was made for a declaration under Section 5 of the Planning and Development Act, 2000 as amended Health Service Executive c/o W.O. Morrissey & Son Architects in respect of the following development at St. Patricks Hospital, Cahir Road, Cashel, Co. Tipperary

The development details listed in the application are as follows;

Alterations and refurbishment / conservation works to the existing health care building to accommodate daycare and therapy services and to conserve and restore character to the protected structure.

The application is accompanied by the following:

- Section 5 Application Form
- Cover Letter,
- Site Location Maps,
- Elevation and floor plan drawings,
- Scope of works report,
- Schedule of photographs of the interior and exterior of the building

The building is a Protected Structure **RPS:64** as contained within the Cashel & Environs Development Plan 2009, as varied.

The building is also listed on the National Inventory of Architectural Heritage (NIAH) under reference 22105082 with a regional importance rating and as follows;

Description

Former workhouse complex, built 1842. Five-bay two-storey with dormer attic former master's house to front of complex having end bays gable-fronted and slightly-advanced to front and gable-fronted and projecting to rear and having recent single-bay two-storey pitched-roofed addition to rear. Pitched slate roof with red brick multiple chimneystack, dressed limestone copings to gables, dressed limestone pediments to upper windows of central front bays with false arrow loop details and gable-fronted dormer windows to rear having decorative timber bargeboards. Roughly-dressed limestone walls with rubble limestone plinth, carved limestone plinth coping and string course. Square-headed window openings with limestone sills, replacement uPVC windows and chamfered dressed limestone surrounds, having carved limestone label-mouldings to upper windows of end bays. Four-centred-arch opening with chamfered dressed limestone voussoirs and surround, replacement timber door and frame and limestone steps. Doorway flanked by two-light timber casement windows, all under

carved limestone label-moulding, echoed by raised section of string course above. H-plan block to south consisting of fifteen-bay two-storey central section and double gable-fronted two-bay three-storey end projections to front and rear, with five-bay end elevations. Pitched artificial slate roofs with rendered chimneystacks, cast-iron rainwater goods and having dressed limestone brackets to gable ends. Snecked limestone walls with snecked limestone plinth. Square-headed window openings with limestone sills, render and some chamfered dressed limestone surrounds and replacement uPVC windows. Some later inserted square-headed doorways with replacement uPVC doors. Four-centred-arch doorway to centre of front elevation with chamfered dressed limestone voussoirs and replacement timber door and frame. Twenty-two bay two-storey block further south having pitched slate roof with rendered chimneystacks, rubble limestone walls, dressed stone to camber-arch openings with replacement uPVC windows. Four-bay single-storey block at right angles to west end of south elevation and recent multiple-bay single-storey block at right angles to west end of north elevation. Chapel and various single-storey buildings, old and recent, between this block and main H-plan block. Chapel is cruciform in plan, having pitched slate roof with cut-stone cross finials to east and west gables, coursed rubble limestone walls with dressed quoins and dressed stone voussoirs to round-headed and some square-headed uPVC replacement windows. Groups of three round-headed windows to east and west elevations, with round-headed recesses above. Further five-bay two-storey and single-storey blocks further to south, having pitched slate roofs and rubble limestone walls with dressed voussoirs to camber-arch openings with replacement aluminium windows, single-storey building having brick chimneystacks. Outbuildings inside boundary of site to north with pitched slate roofs, rendered walls, square-headed openings with two-over-two pane timber sliding sash windows and painted stone sills and square-headed openings with replacement timber doors. Rubble limestone boundary walls with cut limestone capping and cast-iron railings, rubble limestone walls to pedestrian entrances with dressed limestone coping, square-headed openings with dressed limestone lintels and cast-iron gates. Cast-iron gate to main entrance. Limestone pedestrian gateway to west boundary with pointed-arch opening with dressed voussoirs and decorative wrought-iron gate.

Appraisal

This Tudor Revival style building is typical in form and style to other workhouses of its time in Ireland. The multiple gables of the main building add variety and interest to the complex. It includes well executed features such as the string course and label-mouldings to the master's house. The window surrounds, copings and chamfered voussoirs show evidence of fine stone crafting. The gates also show well designed and executed crafting.

2. STATUTORY PROVISIONS

The following statutory provisions are relevant to this case;

Planning and Development Act 2000, as amended

The Planning and Development Act 2000, as amended (hereafter referred to as the Act), states as follows:-

Interpretation.

Section 2(1) includes the following definitions:-

In this Act, except where the context otherwise requires—

“development” has the meaning assigned to it by Section 3 and development shall be construed accordingly.”

“works” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

“alteration” includes—

(a) plastering or painting or the removal of plaster or stucco, or

(b) the replacement of a door, window or roof,

that materially alters the external appearance of a structure so as to render the appearance inconsistent with the character of the structure or neighbouring structures;

“structure” means any building, structure, excavation, or other thing constructed or made on, in or under any land, or any part of a structure so defined, and—

(a) where the context so admits, includes the land on, in or under which the structure is situate, and

(b) in relation to a protected structure or proposed protected structure, includes—

(i) the interior of the structure,

(ii) the land lying within the curtilage of the structure,

(iii) any other structures lying within that curtilage and their interiors, and

(iv) all fixtures and features which form part of the interior or exterior of any structure or structures referred to in subparagraph (i) or (iii);

Section 3(1)

“In this Act, ‘development’ means, except where the context otherwise requires, the carrying out of works on, in, over or under land or the making of any material change in the use of any structures or other land.”

Section 4(1)(h) states as follows:-

(4)(1)(h) development consisting of the carrying out of works for the **maintenance, improvement or other alteration** of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;

Section 4(2)(a) states as follows:-

(2)(a) The Minister may by regulations provide for any class of development to be exempted development for the purposes of this Act where he or she is of the opinion that—

(i) by reason of the size, nature or limited effect on its surroundings, of development belonging to that class, the carrying out of such development would not offend against principles of proper planning and sustainable development, or

(ii) the development is authorised, or is required to be authorised, by or under any enactment (whether the authorisation takes the form of the grant of a licence, consent, approval or any other type of authorisation) where the enactment concerned requires there to be consultation (howsoever described) with members of the public in relation to the proposed development prior to the granting of the authorisation (howsoever described).

Section 4(4) states as follows:-

4(4) Notwithstanding paragraphs (a), (i), (ia) and (l) of subsection (1) and any regulations under subsection (2), development shall not be exempted development if an environmental impact assessment or an appropriate assessment of the development is required.

Section 57 states as follows:-

Works affecting character of protected structures or proposed protected structures

57. (1) Notwithstanding section 4(1)(a), (h), (i), (ia), (j), (k), or (l) and any regulations made under section 4(2), the carrying out of works to a protected structure, or a proposed protected structure, shall be exempted development only if those works would not materially affect the character of—

(a) the structure, or

(b) any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest.

3. **ASSESSMENT**

a. ***Site Location***

The site comprises of St. Patricks Hospital on the Cahir Road within the settlement of Cashel, Co. Tipperary. The building is a Protected Structure RPS:64 as contained within the Cashel & Environs Development Plan 2009, as varied.

b. ***Relevant Planning History***

23/77 Application Withdrawn

00570771 Permission GRANTED for new single storey day room extension at St Claires Ward.

00571037 Permission GRANTED for refurbishment and single storey extension to front side and rear of St. Brigids Assessment Unit- a protected structure.

c. ***Assessment***

The question posed under the Section 5 Declaration application is whether alterations and refurbishment / conservation works to the existing health care building to accommodate daycare and therapy services and to conserve and restore character to the protected structure is development and is exempted development.

i) **"Is or is not Development"**

It is considered that the above listed proposal constitutes "works" as understood by the Planning and Development Act 2000, as amended. The above listed proposal therefore constitutes "development" within the meaning of the Planning and Development Act 2000, as amended.

ii) **"Is or is not Exempted Development"**

There is no specific class of exemption under Part 1, 2 or 3 of Schedule 2 of the Planning and Development Regulations 2001, as amended, relating to a proposal of this nature.

The most relevant section in this case is Section 4(1)h of the Act which states the following is exempted;

*"Development consisting of the carrying out of works for the **maintenance**, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;*

I consider that the works referred to under this application is for the maintenance or improvement of the structure.

The proposed works (on a phased basis) are listed in the accompanying report under Section C. I am satisfied that the listed works may avail of an exemption under Section 4(1)(h). I note no other exemption that the proposal can avail of.

Notwithstanding the above there is a lack of clarity with the proposal as the full extent of works described in the application are not adequately shown on the submitted drawings and no methodologies have been submitted. Further Information is required.

Restriction on any exemption by virtue of Section 57 (Protected Structure)

The proposal was assessed by the Architectural Conservation Officer (Mr. Eamonn Hunter) (ACO) with report received on 08/05/2026 and it was advised that in order to determine as to whether any available exemption would be limited by Section 57(1) of the Act, further information should be requested to confirm the proposal would not have a material impact on the Protected Structure.

- *Design detail of the proposed new entrance lobby at the corner between the west elevation of the central block of the building and the north elevation of the former chapel to*

demonstrate how the differing structural behaviour of the new and existing buildings will be incorporated in a design that prevents any new vulnerability of moisture ingress into the historic masonry structure. Interventions with historic masonry fabric should be minimised where possible and should incorporate materials and techniques that are appropriate and durable.

- *The proposed methodology for creating new or enlarged openings through historic masonry walls to facilitate a new ramped access from the proposed entrance lobby, heading south through the former chapel and into the southern range of buildings. This should be based on good conservation practice to demonstrate how the minimum quantity of historic masonry or other significant fabric will be removed, how structural integrity of the remaining historic masonry walls will be maintained and how appropriate materials and techniques will be employed in the works to ensure this.*
- *Provide a conservation method statement on how the provision of new services (electrical, plumbing (inc. proposed new toilet), communications and new raised floors will minimise intervention to historic elements of the building and will not introduce any new vulnerability, especially condensation or water ingress risks.*
- *Provide a conservation method statement for the localised raking-out, where necessary, of inappropriate cement or failed mortar joints in historic stonework and replacement with a well-matched appropriate lime pointing mortar, finished to ensure proper moisture movement within the masonry walls.*
- *Provide a conservation method statement for the proposed stripping of roofs, localised repair of the timber structure where necessary, reinstatement of salvaged natural slate supplemented with appropriate, matching natural slate where necessary and the retention, appropriate repair and supplement of historic, cast-iron rainwater goods with new material to match where required.*

iii) Restrictions under Article 9

NA

iv) Requirement for Appropriate Assessment (AA) and Environmental Impact Assessment (EIA)

Section 4(4) of the Act sets out that development shall not be exempted development if an environmental impact assessment or an appropriate assessment of the development is required.

AA

The proposal has been assessed having regard to the requirements of the EU Habitats Directive. The proposal has been screened as to the requirements for AA and the screening assessment considers that the proposal does not impact on any Natura 2000 site. See also Appropriate Assessment (AA) screening report attached as Appendix 1.

EIA

The proposed development has been subject to a preliminary examination to determine the requirement for EIA. EIA is not required in respect of the development. See also for Environmental Impact Assessment (EIA) preliminary examination screening report attached as Appendix 2.

4. RECOMMENDATION

It is recommended that further information is requested under Section 5(2) of the Act as follows:

1. The applicant is advised the purpose of a Section 5 of the Planning and Development Act 2000, as amended, is to establish if a particular development is or is not an exempted development within the meaning of the above-mentioned Act based on the proposed development as outlined on the declaration application form, the submitted drawings and supporting documentation. As the building is a Protected Structure the restriction on exemption set out under Section 57 of the Planning and Development Act 2000, as amended, is applicable.

In order to enable an informed determination as to whether the proposal would have a material impact on the character of the Protected Structure the applicant is requested to submit the following:

- i. Design detail of the proposed new entrance lobby at the corner between the west elevation of the central block of the building and the north elevation of the former chapel to demonstrate how the differing structural behaviour of the new and existing buildings will be incorporated in a design that prevents any new vulnerability of moisture ingress into the historic masonry structure. Interventions with historic masonry fabric should be minimised where possible and should incorporate materials and techniques that are appropriate and durable.
- ii. The proposed methodology for creating new or enlarged openings through historic masonry walls to facilitate a new ramped access from the proposed entrance lobby, heading south through the former chapel and into the southern range of buildings. This should be based on good conservation practice to demonstrate how the minimum quantity of historic masonry or other significant fabric will be removed, how structural integrity of the remaining historic masonry walls will be maintained and how appropriate materials and techniques will be employed in the works to ensure this.
- iii. Provide a conservation method statement for the following:
 - how the provision of new services (electrical, plumbing (inc. proposed new toilet), communications and new raised floors will minimise intervention to historic elements of the building and will not introduce any new vulnerability, especially condensation or water ingress risks.
 - the localised raking-out, where necessary, of inappropriate cement or failed mortar joints in historic stonework and replacement with a well-matched appropriate lime pointing mortar, finished to ensure proper moisture movement within the masonry walls.
 - proposed stripping of roofs, localised repair of the timber structure where necessary, reinstatement of salvaged natural slate supplemented with appropriate, matching natural slate where necessary and the retention, appropriate repair and supplement of historic, cast-iron rainwater goods with new material to match where required.
- iv. Revised schedule of works with each proposed item of work numbered and cross referenced to a revised set of plans/elevations.

District Planner:



Date: 08/05/2026

Senior Executive Planner:



Date: 12.5.2026

HABITATS DIRECTIVE APPROPRIATE ASSESSMENT (AA) SCREENING REPORT

STEP 1. Description of the project/proposal and local site characteristics:

(a) File Reference No:	S5/26/54
(b) Brief description of the project or plan:	Alterations and refurbishment / conservation works to the existing health care building to accommodate daycare and therapy services and to conserve and restore character to the protected structure.
(c) Brief description of site characteristics:	Existing building in settlement
(d) Relevant prescribed bodies consulted: e.g. DHLGH (NPWS), EPA, OPW	None
(e) Response to consultation:	None

STEP 2. Identification of relevant Natura 2000 sites using Source-Pathway-Receptor model and compilation of information on Qualifying Interests and conservation objectives.

European Site (code)	List of Qualifying Interest/Special Conservation Interest ¹	Distance from proposed development ² (km)	Connections (Source-Pathway-Receptor)	Considered further in screening Y/N
002137 Lower River Suir	https://www.npws.ie/protected-sites/sac/002137	Within 10km	None	No

STEP 3. Assessment of Likely Significant Effects

(a) Identify all potential direct and indirect impacts that may have an effect on the conservation objectives of a European site, taking into account the size and scale of the project under the following headings:

Impacts:	Possible Significance of Impacts: (duration/magnitude etc.)
Construction phase e.g. <ul style="list-style-type: none"> ● Vegetation clearance ● Demolition ● Surface water runoff from soil excavation/infill/landscaping (including borrow pits) ● Dust, noise, vibration ● Lighting disturbance ● Impact on groundwater/dewatering ● Storage of excavated/construction materials ● Access to site ● Pests 	No potential impacts.
Operational phase e.g. <ul style="list-style-type: none"> ● Direct emission to air and water ● Surface water runoff containing contaminant or sediment ● Lighting disturbance ● Noise/vibration ● Changes to water/groundwater due to drainage or 	No potential impacts.

<ul style="list-style-type: none"> abstraction • Presence of people, vehicles and activities • Physical presence of structures (e.g. collision risks) • Potential for accidents or incidents 	
In-combination/Other	No potential impacts.
(b) Describe any likely changes to the European site:	
<p>Examples of the type of changes to give consideration to include:</p> <ul style="list-style-type: none"> • Reduction or fragmentation of habitat area • Disturbance to QI species • Habitat or species fragmentation • Reduction or fragmentation in species density • Changes in key indicators of conservation status value (water or air quality etc.) • Changes to areas of sensitivity or threats to QI • Interference with the key relationships that define the structure or ecological function of the site 	No potential impacts.
(c) Are 'mitigation' measures necessary to reach a conclusion that likely significant effects can be ruled out at screening?	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

STEP 4. Screening Determination Statement

The assessment of significance of effects:
Describe how the proposed development (alone or in-combination) is/is **not likely** to have **significant** effects on European site(s) in view of its conservation objectives.

The proposed development is not likely to have significant effects. Works relate to the building only.

Conclusion:

	Tick as Appropriate:	Recommendation:
(i) It is clear that there is no likelihood of significant effects on a European site.	<input checked="" type="checkbox"/>	The proposal can be screened out: Appropriate assessment not required.
(ii) It is uncertain whether the proposal will have a significant effect on a European site.	<input type="checkbox"/>	<input type="checkbox"/> Request further information to complete screening <input type="checkbox"/> Request NIS <input type="checkbox"/> Refuse planning permission
(iii) Significant effects are likely.	<input type="checkbox"/>	<input type="checkbox"/> Request NIS <input type="checkbox"/> Refuse planning permission

EIA Pre-Screening	
Establishing a development is a 'sub-threshold development'	
File Reference:	S5/25/86
Development Summary:	Alterations and refurbishment / conservation works to the existing health care building to accommodate daycare and therapy services and to conserve and restore character to the protected structure.
Was a Screening Determination carried out under Section 176A-C?	<input type="checkbox"/> Yes, no further action required <input checked="" type="checkbox"/> No, Proceed to Part A
A. Schedule 5 Part 1 - Does the development comprise a project listed in Schedule 5, Part 1 , of the Planning and Development Regulations 2001 (as amended)? (Tick as appropriate)	
<input type="checkbox"/> Yes, specify class _____	EIA is mandatory
<input checked="" type="checkbox"/> No	No Screening required
<input checked="" type="checkbox"/> No	Proceed to Part B
B. Schedule 5 Part 2 - Does the development comprise a project listed in Schedule 5, Part 2 , of the Planning and Development Regulations 2001 (as amended) and does it meet/exceed the thresholds? (Tick as appropriate)	
<input checked="" type="checkbox"/> No, the development is not a project listed in Schedule 5, Part 2	No Screening required
<input type="checkbox"/> Yes the project is listed in Schedule 5, Part 2 and meets/exceeds the threshold, specify class (including threshold): _____	EIA is mandatory
<input type="checkbox"/> Yes the project is of a type listed but is <i>sub-threshold</i> : _____	No Screening required
<input type="checkbox"/> Yes the project is of a type listed but is <i>sub-threshold</i> : _____	Proceed to Part C
C. If Yes , has Schedule 7A information/screening report been submitted?	
<input type="checkbox"/> Yes, Schedule 7A information/screening report has been submitted by the applicant	Screening Determination required
<input type="checkbox"/> No, Schedule 7A information/screening report has not been submitted by the applicant	Preliminary Examination required

Planning Section Digitizer

Find address or place

S5/26/54 - Health Service Executive

Zoom to

REFNO	S5/26/54
APPLICANT	Health Service Executive
RECEIVED	16/04/2026
LOCATION	St. Patrick's Hospital, Cahir Road, Cashel, Co. Tipperary
ENGINEERING AREA	Tipperary
DECISION	Unknown
DATE OF DECISION	13/05/2026

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Powered by Esri



Date: 12th May 2026

Our Ref: S5/26/54

Civic Offices, Nenagh

**Health Service Executive
C/O W.O. Morrissey & Sons
Thomas Street
Clonmel
Co. Tipperary
E91 P210**

Re: Application for a Section 5 Declaration – Alterations and refurbishment / conservation works to the existing health care building to accommodate daycare and therapy services and to conserve and restore character to the protected structure at St. Patricks Hospital, Cahir Road, Cashel, Co. Tipperary

Dear Sir,

I refer to an application received from you on 16th April 2026 requesting a Declaration from this Planning Authority as to whether or not certain works constitute development within the meaning of the Planning and Development Act 2000, as amended.

Further information is requested as follows;

It is recommended that further information is requested under Section 5(2) of the Act as follows:

1. The applicant is advised the purpose of a Section 5 of the Planning and Development Act 2000, as amended, is to establish if a particular development is or is not an exempted development within the meaning of the above-mentioned Act based on the proposed development as outlined on the declaration application form, the submitted drawings and supporting documentation. As the building is a Protected Structure the restriction on exemption set out under Section 57 of the Planning and Development Act 2000, as amended, is applicable.

In order to enable an informed determination as to whether the proposal would have a material impact on the character of the Protected Structure the applicant is requested to submit the following:

- i. Design detail of the proposed new entrance lobby at the corner between the west elevation of the central block of the building and the north elevation of the former chapel to demonstrate how the differing structural behaviour of the new and existing buildings will be incorporated in a design that prevents any new vulnerability of moisture ingress into the historic masonry structure. Interventions with historic masonry fabric should be minimised where possible and should incorporate materials and techniques that are appropriate and durable.
- ii. The proposed methodology for creating new or enlarged openings through historic masonry walls to facilitate a new ramped access from the proposed entrance lobby, heading south through the former chapel and into the southern range of buildings. This should be based on good conservation practice to demonstrate how the minimum quantity of historic masonry or other significant fabric will be removed, how structural integrity of the remaining historic masonry walls will be maintained and how appropriate materials and techniques will be employed in the works to ensure this.
- iii. Provide a conservation method statement for the following:
 - how the provision of new services (electrical, plumbing (inc. proposed new toilet), communications and new raised floors will minimise intervention to historic elements of the building and will not introduce any new vulnerability, especially condensation or water ingress risks.
 - the localised raking-out, where necessary, of inappropriate cement or failed mortar joints in historic stonework and replacement with a well-matched appropriate lime pointing mortar, finished to ensure proper moisture movement within the masonry walls.
 - proposed stripping of roofs, localised repair of the timber structure where necessary, reinstatement of salvaged natural slate supplemented with appropriate, matching natural slate where necessary and the retention, appropriate repair and supplement of historic, cast-iron rainwater goods with new material to match where required.
- iv. Revised schedule of works with each proposed item of work numbered and cross referenced to a revised set of plans/elevations.

Further consideration of your request for a declaration cannot be considered until the above information is received.

Yours sincerely



for **Director of Services**

**W. O. MORRISSEY & SON
ARCHITECTS**

THOMAS STREET
CLONMEL
CO. TIPPERARY
Eircode E91 P210

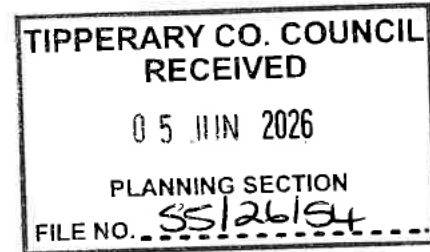
PETER MORRISSEY B. ARCH., F.R.I.A.I.
Architect Accredited in Conservation – Grade 3
Chartered Member R.I.B.A.

Tel: (052) 6121621/6123022
e-mail: info@morrisseyarchitects.ie

05 June 2026

by Hand

Director of Services,
Planning Section,
Tipperary Co. Council,
Civic Offices,
Emmet Street,
Clonmel,
Co. Tipperary



RESPONSE TO REQUEST FOR FURTHER INFORMATION

**Re: Application for a Section 5 Declaration – Alterations and Refurbishment/Conservation Works to the existing Healthcare Building to accommodate Daycare and Therapy Services and to Conserve and Restore Character to the Protected Structure at St. Patrick’s Hospital, Cashel, Co. Tipperary.
Your Ref.S5//26/54**

A Chara,

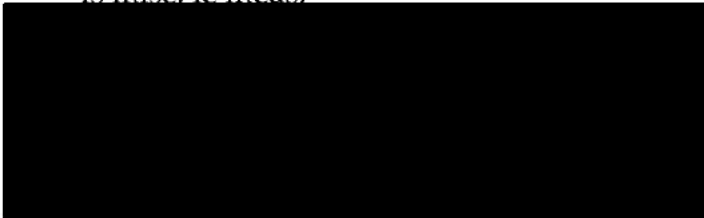
I refer to the Request for Further Information dated 12th May 2026 and attach our Response which comprises our Amended Documents Supporting the Application.

In amending the Document, we have Altered and Added to the Text to take account of the Information Requested.

We have also included Additional Drawings and Photographs.

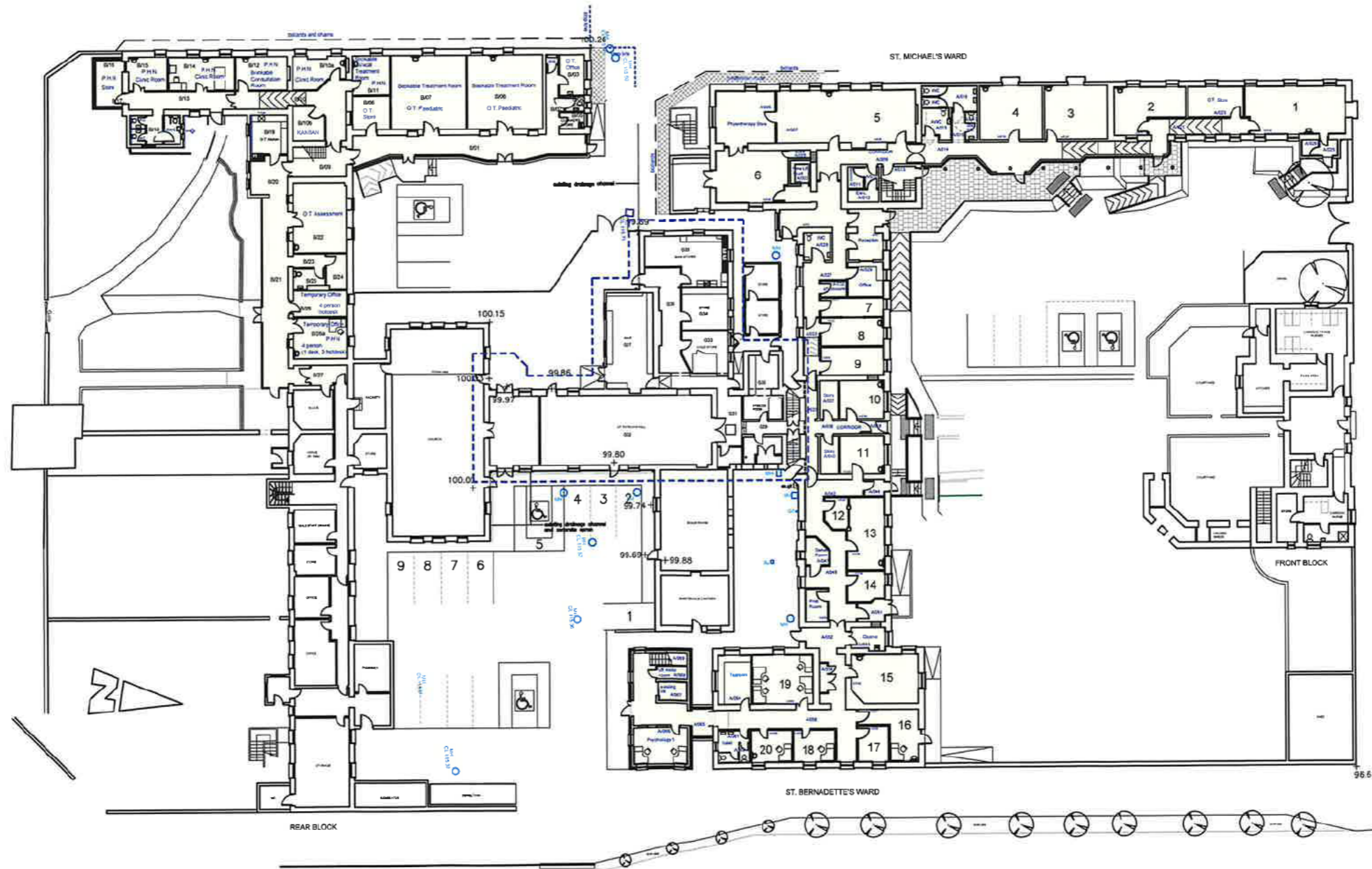
I trust that Information will meet your requirements and if you have any Queries, please let me know.

Is mise. le meas.



CC PADRAIC DELANEY via email
CC JOHN POWER via email

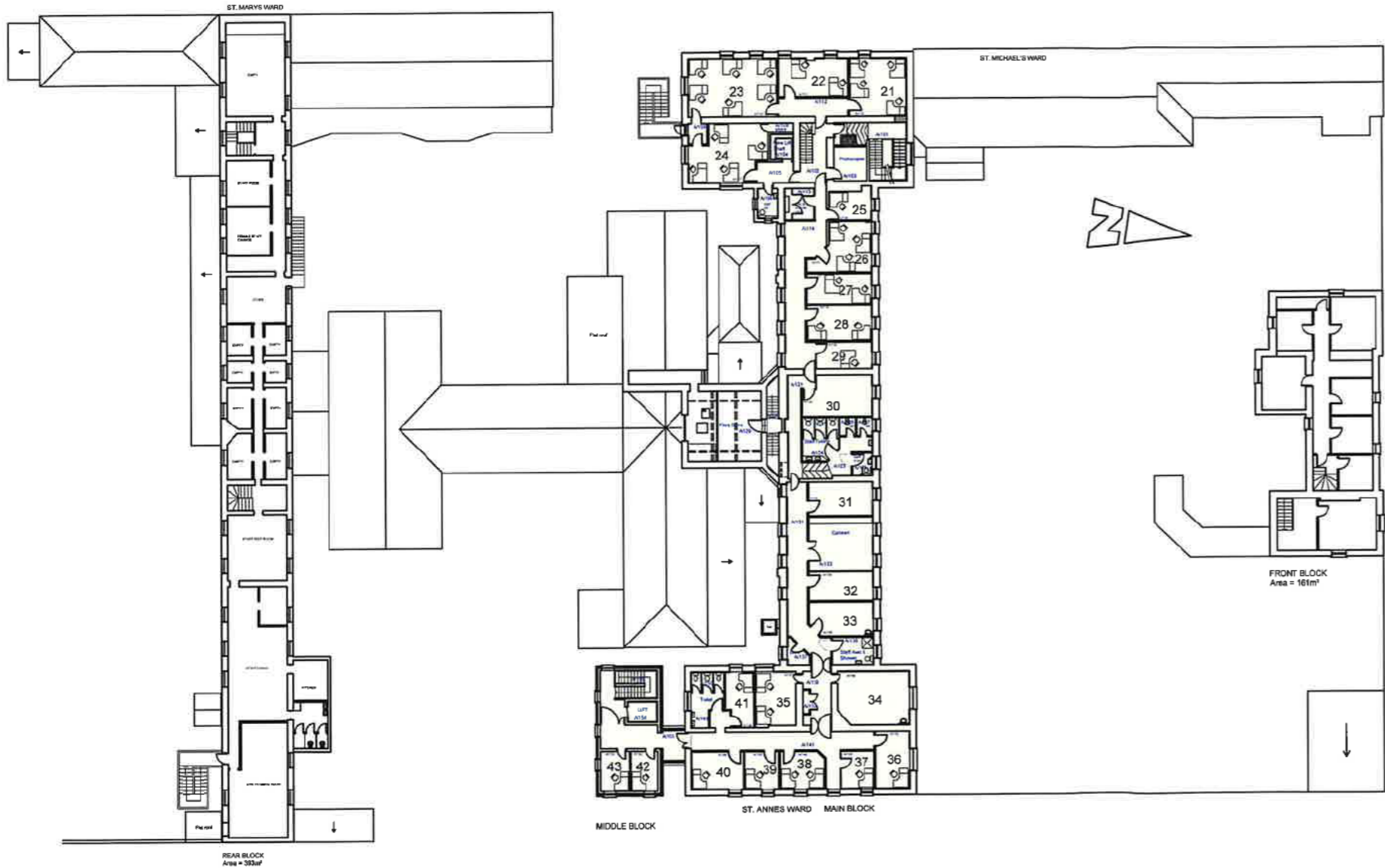
IN USE



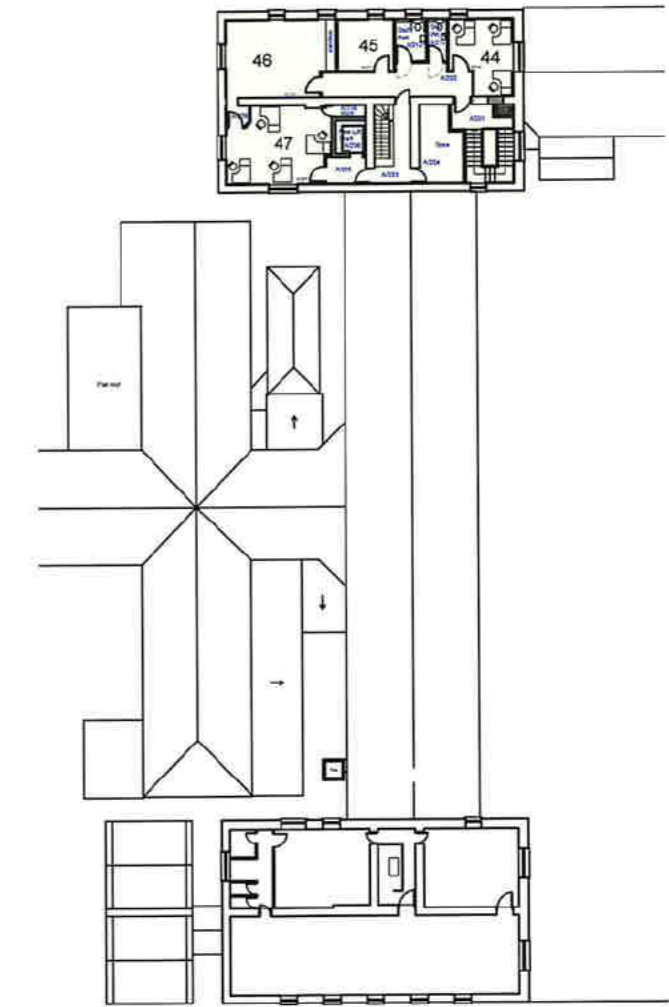
GROUND FLOOR PLAN

TIPPERARY CO. COUNCIL
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05 JUN 2026
PLANNING SECTION
FILE NO. 22/26/54

IN USE

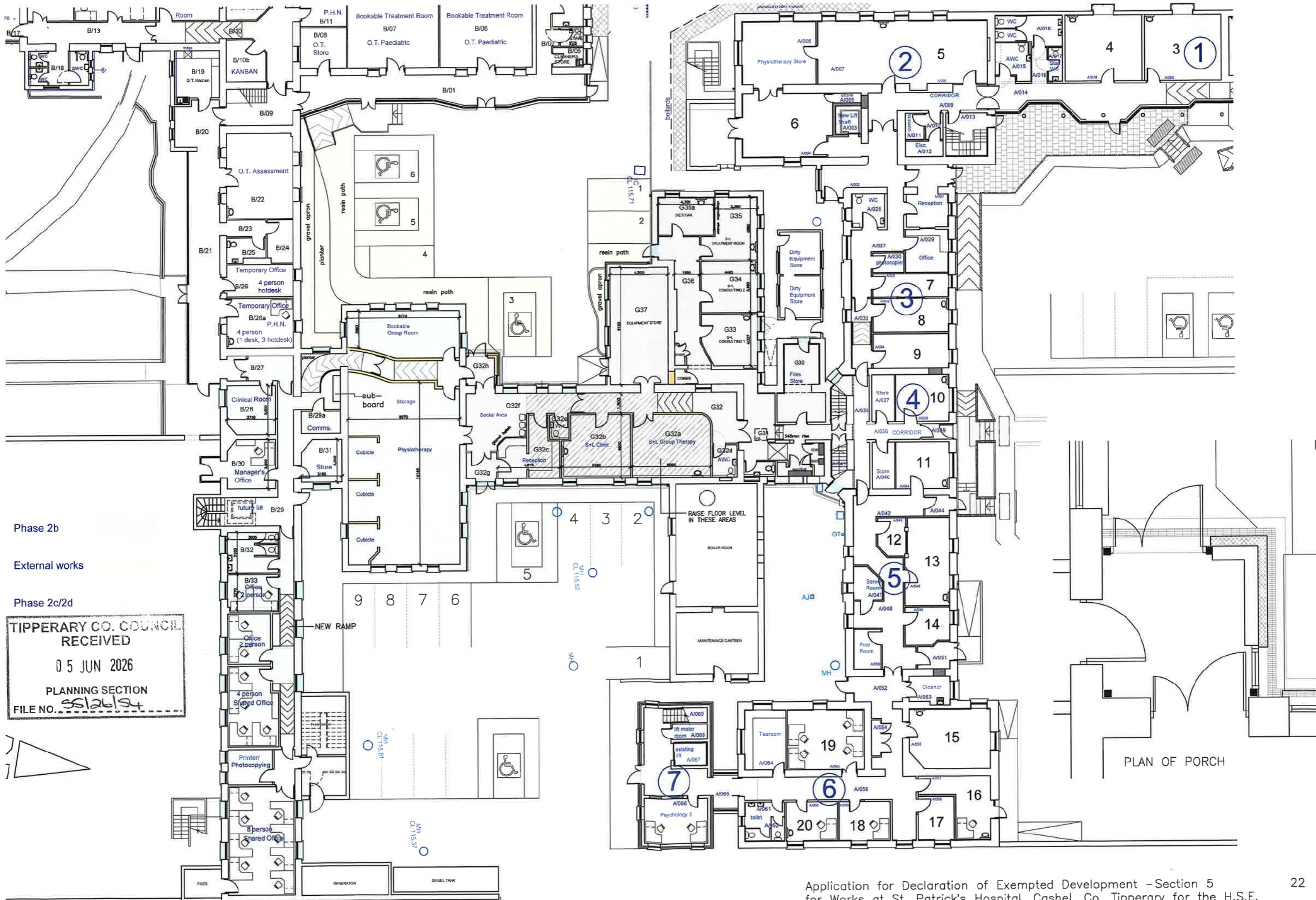


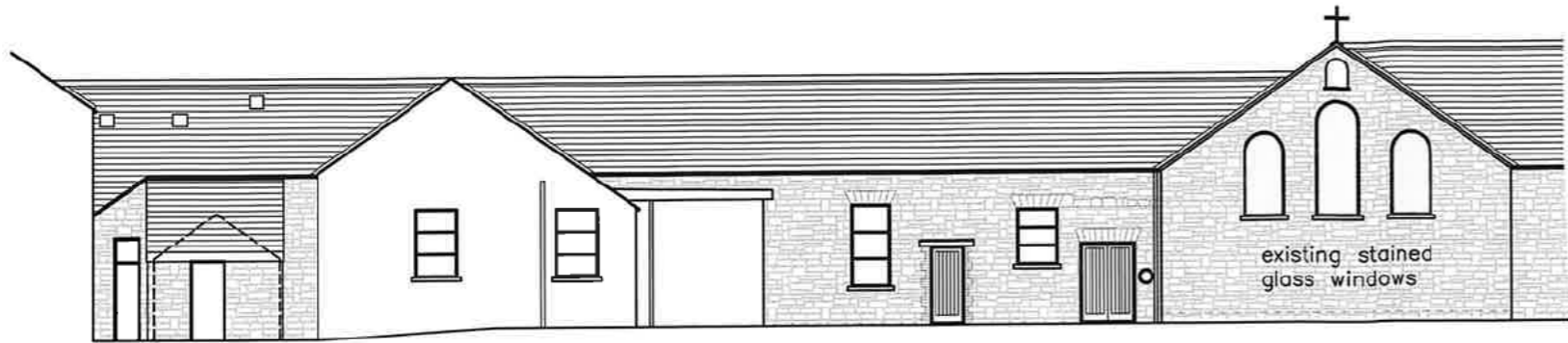
FIRST FLOOR PLAN



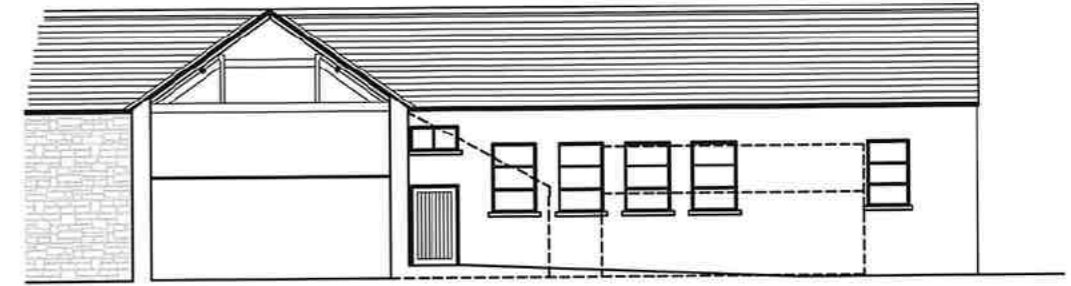
SECOND FLOOR PLAN

TIPPERARY CO. COUNCIL
 RECEIVED
 05 JUN 2026
 PLANNING SECTION
 FILE NO. 35126154

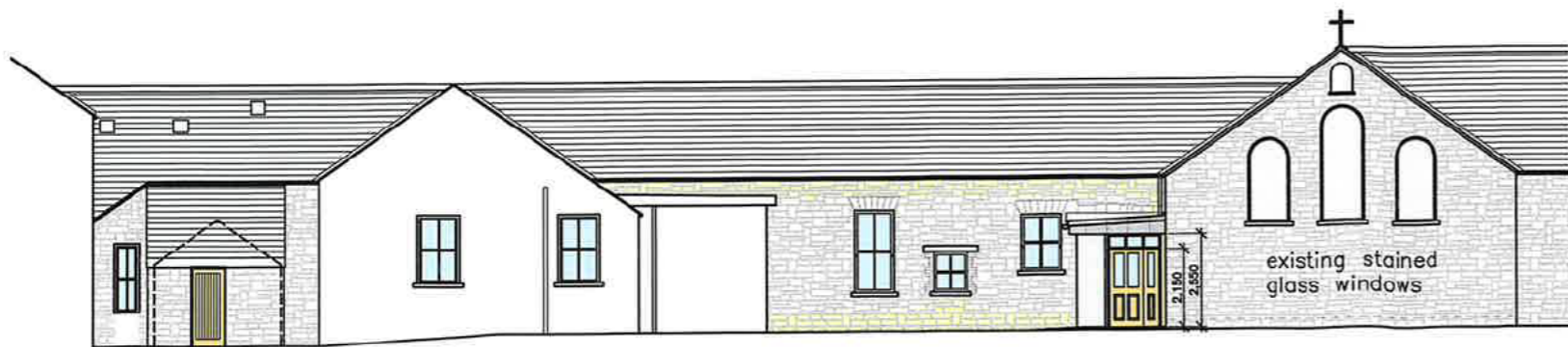




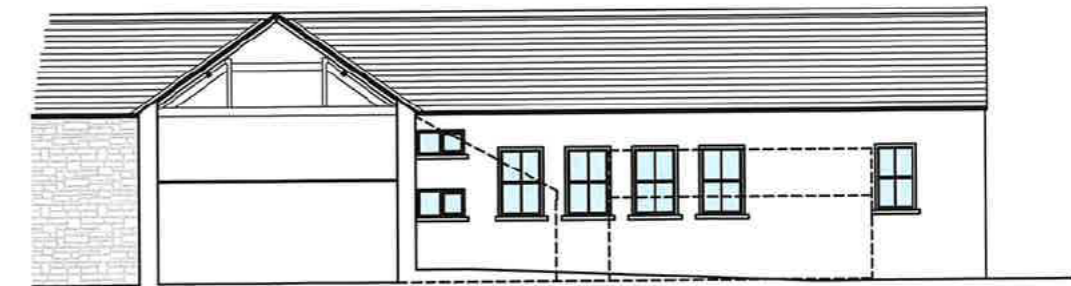
WEST ELEVATION
EXISTING



NORTH ELEVATION
EXISTING

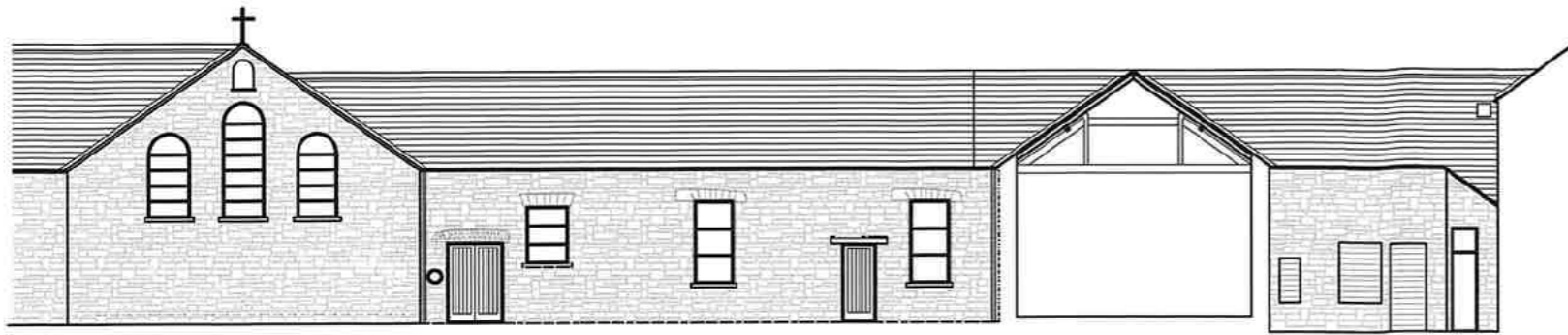


WEST ELEVATION
PROPOSED



NORTH ELEVATION
PROPOSED

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05 JUN 2026
PLANNING SECTION
FILE NO. SS126154



EAST ELEVATION
EXISTING



SOUTH ELEVATION
EXISTING



EAST ELEVATION
PROPOSED



SOUTH ELEVATION
PROPOSED



NORTH ELEVATION
EXISTING



NORTH ELEVATION
PROPOSED

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FILE NO. 55/26/24



FORMER ST. PATRICK'S HALL & MORTUARY

Carefully rake out joints in the Door and former Window Heads and clean out open joints. Re-joint and point in Lime Mortar. When jointing, ensure full penetration of each joint.

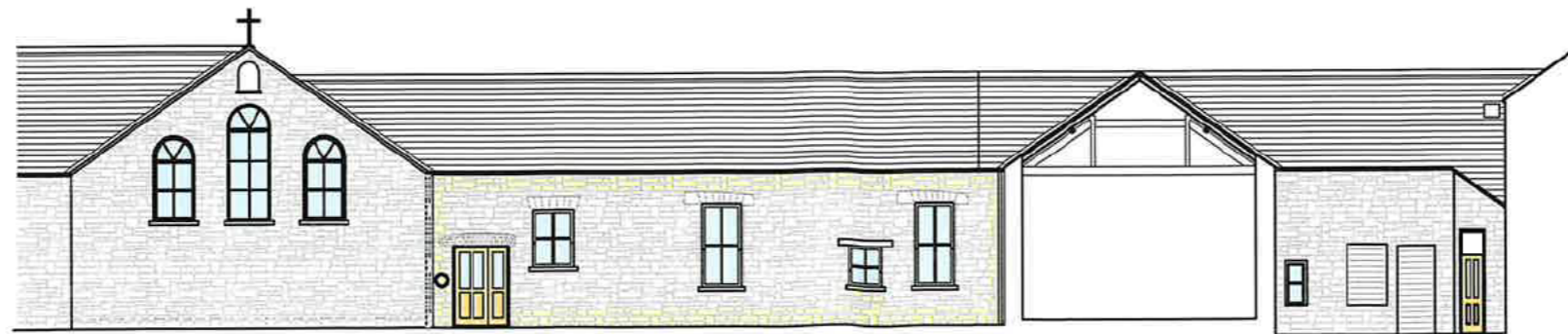
Carefully rake out all joints in the Eaves Course and for 350mm below the eaves clean out, rake out and re-joint and point all open joints in Lime Mortar and neatly match-in to existing. Ensure full penetration at each joint.

Similarly prepare re-joint and point the isolated open joints in the stonework generally.

Carefully remove the existing Render from the Reveals at Opes; Make good to jointing in Lime Mortar then re-render in Lime Render as specified.

Carefully rake out, re-joint and point open joints in the Stone Masonry.

Where a Door being replaced with a Window, carefully remove the Doorset, hack off the render and build up the ope in stone masonry to match existing. Joint and point externally and prepare and plaster internally in insulating Lime Plaster. Provide and install a new larger cill and provide and install the Window.



EAST ELEVATION



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FILE NO. 25126154



EAST ELEVATION

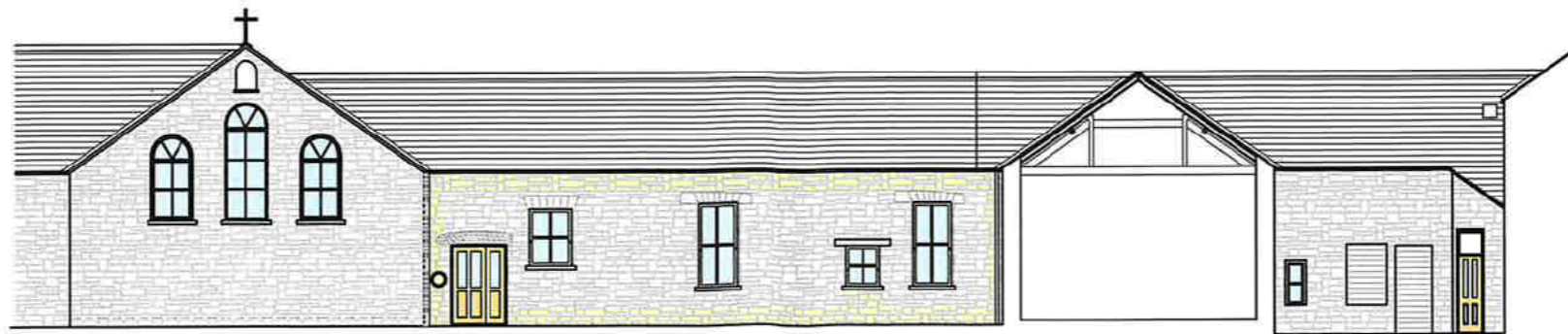
Between the Boiler room and Cnoc na Rí

Carefully clean the Stonework.

From ground level to the underside of the Electrical Containment, for the extent where the wall has been rendered, Carefully Hack off and Remove the Existing Render; Re-Joint the Masonry in Lime Mortar then render in Lime Render as specified.

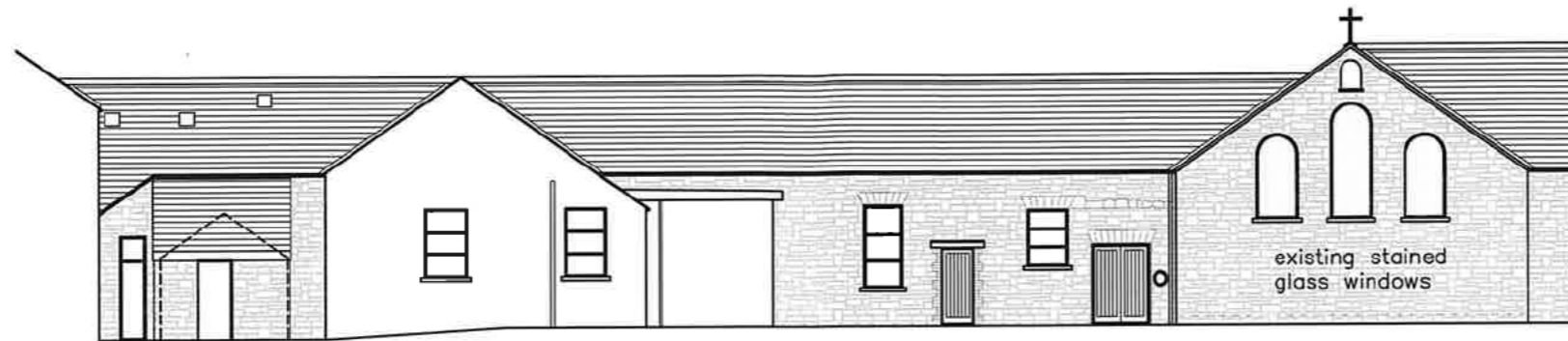
Above the containment, and full-height to the North of that, carefully clean out re-joint and point the Eaves Courses and for 400mm below that, and full-height at splayed corners, carefully clean and rake out all joints, including the Door Head.

Re-joint and point in Lime Mortar and ensure full penetration at all joints.

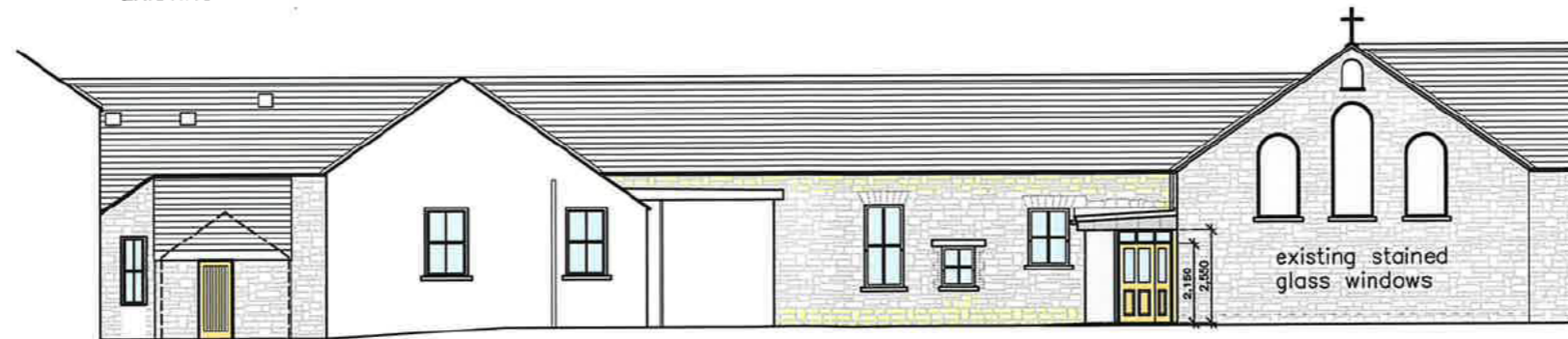


EAST ELEVATION

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PLANNING SECTION
FILE NO. 35/26/54



WEST ELEVATION
EXISTING



WEST ELEVATION
PROPOSED



FORMER ST. PATRICK'S HALL & MORTUARY

Carefully rake out joints in the Door and former Window Heads and clean out open joints. Re-joint and point in Lime Mortar. When jointing, ensure full penetration of each joint.

Carefully rake out all joints in the Eaves Course and for 350mm below the eaves clean out, rake out and re-joint and point all open joints in Lime Mortar and neatly match-in to existing. Ensure full penetration at each joint.

Similarly prepare re-joint and point the isolated open joints in the stonework generally.

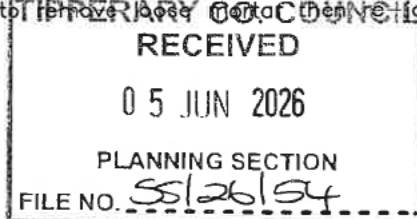
Carefully remove the existing Render from the Reveals at Opes; Make good to jointing in Lime Mortar then re-render in Lime Render as specified.

Carefully rake out, re-joint and point open joints in the Stone Masonry.

Where a Door being replaced with a Window, carefully remove the Doorset, hack off the render and build up the ope in stone masonry to match existing. Joint and point externally and prepare and plaster internally in insulating Lime Plaster. Provide and install a new larger cill and provide and install the Window.

BETWEEN SECTION 2 AND CNOC NA RÍ (Back Wall and Returns)

To the Stone Masonry generally, on the back wall and on the returns at each side of the Store (G.30) carefully wash with gentle steam and brush down. Carefully rake out all joints to the level of the mortar joint in Lime Mortar, ensuring full penetration and re-point in Lime Mortar to match existing.



**W. O. MORRISSEY & SON
ARCHITECTS**

THOMAS STREET
CLONMEL
CO. TIPPERARY
Eircode E91 P210

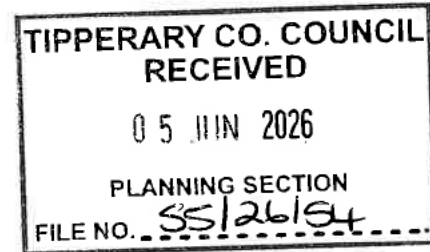
PETER MORRISSEY B. ARCH., F.R.I.A.I.
Architect Accredited in Conservation – Grade 3
Chartered Member R.I.B.A.

Tel: (052) 6121621/6123022
e-mail: info@morrisseyarchitects.ie

05 June 2026

by Hand

Director of Services,
Planning Section,
Tipperary Co. Council,
Civic Offices,
Emmet Street,
Clonmel,
Co. Tipperary



RESPONSE TO REQUEST FOR FURTHER INFORMATION

**Re: Application for a Section 5 Declaration – Alterations and Refurbishment/Conservation Works to the existing Healthcare Building to accommodate Daycare and Therapy Services and to Conserve and Restore Character to the Protected Structure at St. Patrick’s Hospital, Cashel, Co. Tipperary.
Your Ref.S5//26/54**

A Chara,

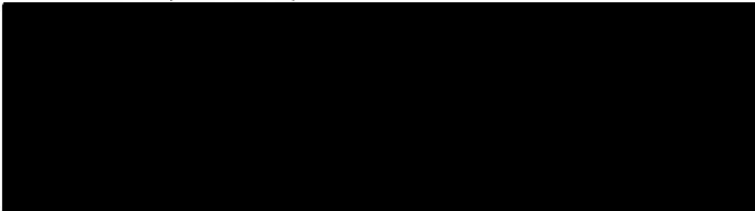
I refer to the Request for Further Information dated 12th May 2026 and attach our Response which comprises our Amended Documents Supporting the Application.

In amending the Document, we have Altered and Added to the Text to take account of the Information Requested.

We have also included Additional Drawings and Photographs.

I trust that Information will meet your requirements and if you have any Queries, please let me know.

Is mise, le meas,



CC PADRAIC DELANEY via email
CC JOHN POWER via email

**PROPOSED ALTERATIONS AND REFURBISHMENT/CONSERVATION
WORKS
TO PARTS OF THE EXISTING BUILDING
AT ST. PATRICK'S HOSPITAL, CASHEL, CO. TIPPERARY
PROTECTED STRUCTURE NO. 22105082**

**APPLICATION FOR DECLARATION OF EXEMPTED DEVELOPMENT
SECTION 5 – PLANNING & DEVELOPMENT ACT 2000 (AS AMENDED)**

ON BEHALF OF THE HEALTH SERVICE EXECUTIVE

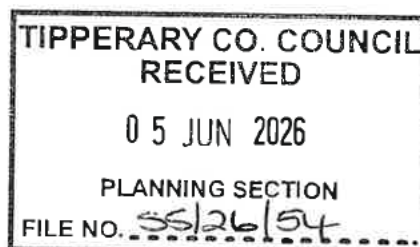


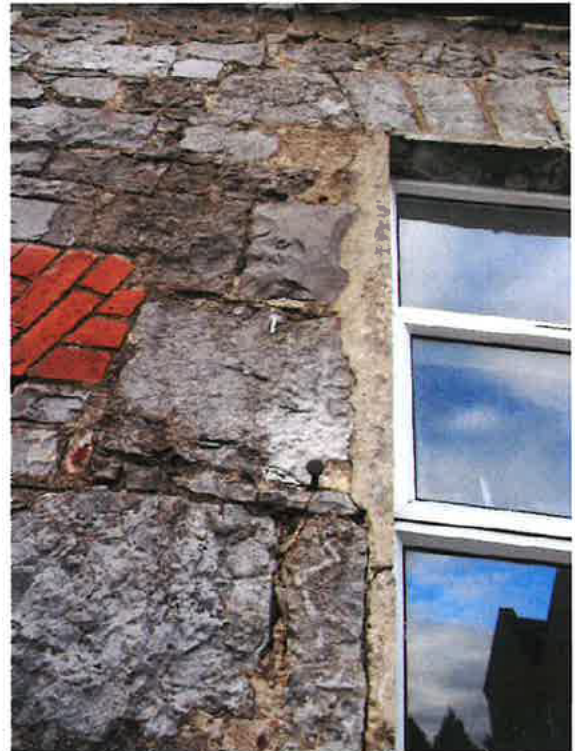
**DOCUMENTS SUPPORTING THE APPLICATION
(Amended in Response to Request for Further Information)**

**W. O. MORRISSEY & SON
ARCHITECTS
THOMAS STREET
CLONMEL
CO. TIPPERARY
TEL. (052)6121621/6123022**

Email: info@morrisseyarchitects.ie

APRIL 2026
Amended June 2026





Part of Former Hall and Church
East Side

**PROPOSED ALTERATIONS AND REFURBISHMENT/CONSERVATION WORKS
TO PARTS OF THE EXISTING BUILDING
AT ST. PATRICK'S HOSPITAL, CASHEL, CO. TIPPERARY
PROTECTED STRUCTURE NO. 22105082**

**APPLICATION FOR DECLARATION OF EXEMPTED DEVELOPMENT
SECTION 5 – PLANNING & DEVELOPMENT ACT 2000 (AS AMENDED)**

ON BEHALF OF THE HEALTH SERVICE EXECUTIVE

RESPONSE TO REQUEST FOR FURTHER INFORMATION

A. DOCUMENTS INCLUDED

Documents Responding to the Request for Further Information include:

This Amended Written Report
with Drawings and Photographs
(The Application Form and our Cheque for €80.00 were submitted with the Original
Application).

Drawings showing the Existing Building and the Proposed Works.

Our cheque for €80.00 was included, with the Original Application.

B. INTRODUCTION

St. Patrick's Hospital, dating from c.1845 is a Protected Structure of Regional Importance.
Categories of Interest are "Architectural and Social".

Built originally as a Workhouse, it subsequently became a County Home.
Up to 2020 part of it was used as a Residential Care Centre.

The Upper Storey of the back (South) Block has been vacant for some time.
The East end of that Block is vacant on the Ground Storey also.

Following the onset of Covid in 2020, the Main Building on St. Patrick's Campus was
deemed unsuitable for Residential Care and the Residents/Patients were transferred to Our
Lady's Hospital.



Central Car Park – Looking South



Central Car Park – Looking West

Short-Term Residential Care/Rehabilitation continues on St. Patrick's Campus in other Buildings.

When the Building was vacated in 2020, the H.S.E. commenced a Programme of Alterations and Refurbishment/Conservation Works so that the Building can continue in use for Health Care.

The Initial Stage (Phases 1 & 2A), to accommodate Services displaced from Our Lady's Hospital was completed in 2021.

Work on Phase 2B commenced in 2022 but was paused, pending Availability of Funding.

The H.S.E. is now in a position to resume Work this Summer and to continue the Work, in Stages, to Alter and Refurbish the full Building.

It is envisaged that the Work to proceed during 2026 will include Completion of Phase 2B (shaded Grey on Plan) and following with 2C, Ground Storey (shaded Green on Plan).

The Upper Storey of the South Block, together with a New Lift for that Block and Replacement of the Front Extension on that Block would follow.

At present, those parts of the Building are unfit for use so the Proposed Works are essential to make the full Building usable and to Extend the life of the Protected Structure.

B.2 REASONS FOR APPLICATION FOR A SECTION 5 DECLARATION OF EXEMPTION

This Section 5 Declaration is required for the following reasons:

- Parts of the Building have been Altered and Refurbished and are in use. The remaining parts of the Building are unsuitable for use. They need Upgrading, Repair and Refurbishment to make the Building weather tight and to improve its Energy Performance. Full Renewal of the Building Services Installations forms part of the Works Programme. The Proposed Works will Conserve, and (through Windows Replacement, Roof Repairs/Re-Slating, Stonework Repairs etc.) Restore Character to the Protected Structure.



Side Wall of Church

C. PROPOSAL

The Proposal is to continue and Complete the Work of Altering, Refurbishing and Conserving the Existing Building so that it will meet the Accommodation Needs of the Service Users, and Provide a Comfortable Working Environment, while Retaining and Enhancing the Character of the Protected Structure.

Proposed Works include the following:

Alterations to Internal Layout, to suit the needs of the Proposed Service Users.

Those will include:

Removal of some Partitions and Construction of new Partitions, complete with Door Assemblies etc.

Altering of Openings;

Forming Ramps; Installing a Platform Lift,

Raising parts of the Floor in the Former St. Patrick's Hall, to match those in Adjoining Areas;

Construction of a small Entrance/Exit/Link Lobby.

Works of Repair, Upgrading/Refurbishment/Conservation and Restoration of Character and Improvement of Energy Performance.

Those will include:

Removal of Existing Aluminium (and some PVC) Windows.

Providing and Installing New Sliding Sash Windows, in Hardwood, Painted, Double-Glazed in High Energy Performance Thin Glazing and having a Glazing Pattern which will reflect the Heritage Status of the Building.

Installing New External Doorsets in Hardwood, Painted.

Open Joints in exposed Stonework, Externally, will be carefully cleaned out and Re-Jointed in Lime Mortar.



East Inner Yard
Looking West



West Inner Yard
Looking East

- Alterations in Phase 2B will be mainly concentrated in the Former St. Patrick's Hall, which will be Sub-Divided with Partitions to form the required Accommodation and to form a Link Corridor from the Front Building to the Back.

This will include Forming a Ramp and Raising Floor Levels in some Rooms.

As far as practicable, those changes will be Reversible.

A small External Lobby will be formed to serve as a Link.



Former Hall
West Side

Changes to the Approach to the former Hall from the Front Building will include Installation of a Platform Lift, for Accessibility.

- Repairs/Reinstatement Works to Building Fabric will include;
Making Good to Roof Structure as required, Stripping and Re-Slating (in Natural Slate) Sections of Roof where the existing Slating is in poor condition;
Replacement of Damaged Cast Iron Rainwater Goods and Repairs to Existing, Replacing Seamless Aluminium Rainwater Goods with New Cast Rainwater Goods Pre-Finished in Black;
Carefully Raking out open Joints in Stonework externally and Re-Jointing in Lime Mortar Finished Flush to match existing.
- Cleaning out Attic Areas;
Installing Crawl Boards; Insulating (and Ventilating) Attic Areas;
Repairs to Ceilings and Provision of New Ceilings in some Locations; Repairs to Walls and Partitions;
Supply and Installation of New Door Assemblies, Skirtings, Architraves, Linings and Trim; New Floor Finishes; Painting and Decoration.
- Upgrading/Repairing, Commissioning and Certifying the Building Services Installations including Heating, Ventilation, Plumbing & Sanitary, Electrical including Power & Data, Lighting, Emergency Lighting including Exit and Escape Lighting, Fire Detection & alarm Installation; Intruder Alarm Installation etc.
- External Works will include Forming Sloped Access and Landings to External Doors, Connections to Drainage and Water Services to serve the Altered Building;
Making Good to Roads, Paths & Parking Areas etc., Marking Parking Areas (where shaded Yellow on Plan).

DRAWINGS & PHOTOGRAPHS

These show the Existing and Proposed Plans, and Elevations and Photographs of the Existing Building.



South Block

D. NOTES ON PROPOSED WORKS / METHODOLOGY

D.1 APPROACH

The Approach to all New Works will be Conservation Led, adopting the following Principles:

Limit Interventions to those which are Essential to Restore the Protected Structure, to Ensure its Durability into the future, and Interventions which are necessary to make the Building suitable for its Proposed Use. (This Amended Proposal to Re-Using existing Door Ope at Sacristy, Infilling a Hatch Ope at the Equipment Store and Retaining a Window Ope has reduced the Proposed Interventions.

As far as Practicable, all Interventions will be Reversible.

Where changes in Layout or Levels are required, the existing Walls etc. will be Retained as far as practicable and, where new Partitions or Raised Floors are being Installed, Reversible Construction will be used

They will also Conceal Drainage Runs or Building Services.

D.2 NEW ENTRANCE / EXIT LOBBY

To Accommodate the differing Structural Behaviour of the New and Existing Buildings, the Entrance Lobby will be a Free-Standing Structure (Raft Foundation & Framed Structure) with Flexible Sealant at Abutments with the Existing.

The Counter Flashing will be set into the joint one course above the Stone Heads to the Door Ope and Pointed in with Lime Mortar, to match existing.

D.3 FORMING NEW OR ENLARGED OPENINGS OR OTHERWISE ALTERING OPES IN HISTORIC MASONRY WALLS

Such Works will be undertaken by Carefully Removing Existing Plaster or Linings from each face of each proposed Ope, to see the existing Construction and Condition; Pinning and Propping them, Carefully Opening Up, one side at a time, Inserting the New Heads, bedded and jointed in Lime Mortar, then gently Removing the Temporary Supports and neatly Building Back, in Stone, bedded and jointed in Lime Mortar.

The Methodology for any such Work to Historic Masonry Walls will be as follows:

- Isolate and Remove existing Linings or Plaster on each side, to Expose the underlying Construction, taking care and working progressively, so that any concealed existing Features (Arches, Ope, Niches etc.) will be exposed and Protected.

If any such Feature is found, the Option of repositioning the Intervention will be considered. If practicable, the Feature will be Jointed and Pointed and left Exposed, where that is not practicable, the Feature/Detail will be Recorded.



To form new or enlarged Oses, Carefully Pin and Prop, then, Working from one side at a time, Carefully take out Existing Masonry to form Bearing Pads for the New Heads.

Provide and Install the New Heads on a bed of Lime Mortar, then Joint at the Top and each end in Lime Mortar;

Carefully Remove the Pinning and Props.

Building Back the Stone Masonry in Lime Mortar to match existing;

Reinstating the Finishes on each side.

Where new mortar is required, the mix shall be matched by taking samples of existing and having them matched by a Lime Specialist (Stoneware Studios Ltd., Pillmore, Youghal, Co. Cork, or equivalent Specialist).

Because they will improve Circulation, Work of Raising the Floors and forming Ramps etc. will be of Permanent Construction.

To make them Reversible, the existing Coverings will be removed and the base lined with Foil Wrapped Insulation which will form an isolating layer and allow for future Removal, if required.

The Raised Floors & Screeds will be separated from the Stone Masonry with a Breathable Isolating Layer.

The Raised Floors, combined with Skirting Ducts will be used to route wastes from the New Toilet to the existing within the Building.

The Outlet to the existing Sewer will be used, so No Excavation will be required externally.

D.4 BUILDING SERVICES INSTALLATIONS

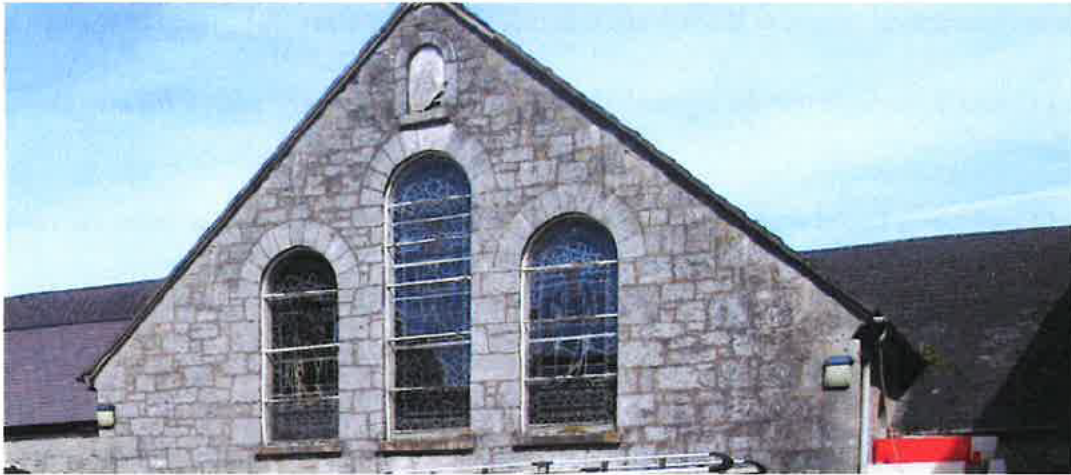
The Alterations and Upgrading Works to the Building Services Installations will follow a Conservation Led Approach; based on the following:

Minimising Intervention by use of existing Service Routes.

Re-use of existing Infrastructure, where practicable.

Utilising newly Constructed Partitions as Service Zones to accommodate Service Pipework and Distribution Systems using Skirting Ducts. Etc. to bring new Soil & Wase Pipes within the Building to Discharge to existing Drainage Outlets thus obviating the need for Excavation or Ground Disturbance externally.

Avoiding Chasing, Embedding or Cutting into Historic Masonry or Decorative Finishes.



D.5 ROOF REPAIRS AND RE-SLATING

The Roofs over the Lean-To at the Files Store (E-30) and the former Church are slated with Asbestos Containing Slates.

Those slates will be Removed and Disposed of by a Licensed Asbestos Removal Contractor and the Work shall be Monitored by a Licensed Asbestos Consultant who shall issue an Air Certificate/Re-Occupation Certificate on Completion of the Work in each Area.

When the Roof Structures are exposed, they will be Inspected.

Decayed Timbers will be Removed and Replaced with New Sections spliced to existing. Where necessary, Additional Timbers will be Inserted to strengthen the Structure.

The Remaining Roofs are covered with Natural Slates.

Some are reasonably new and are in good condition.

Older Sections will need to be Stripped and Re-slatted.

As Slates are being taken down, each shall be Inspected and Assessed.

Any which are suitable for re-use shall be graded and set aside.

They will be re-used in Re-Slating and Supplemented, as necessary, with re-claimed Bangor Blue Slates.

Those not suitable for re-use will be Sustainably Disposed of and re-used in the Works.

Roof Timbers exposed by the Works will be Inspected.

D.6 STAINED GLASS WINDOWS

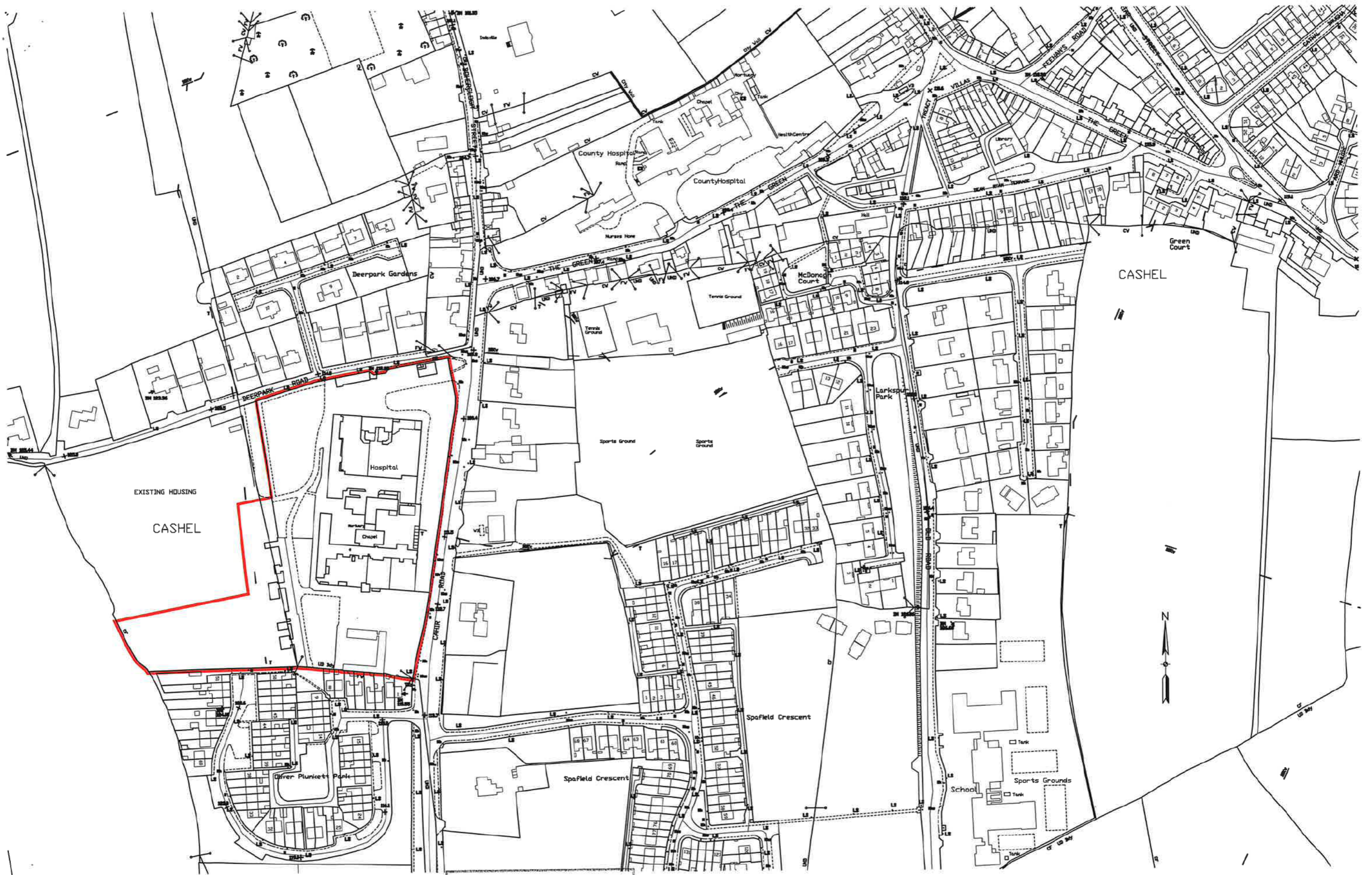
The Stained Glass Windows on the West side of the Former Church will be covered to protect them from damage during the Works.

On Completion, they will be Inspected and Cleaned by a Stained-Glass Specialist and Leading will be Repaired/Reinstated where required.

The existing Storm Glazing will be Removed and will be Replaced with Powder Coated Grey Mesh.

APPENDIX

AMENDED DRAWINGS NOS. 19 - 27



SITE LOCATION MAP scale 1:2500

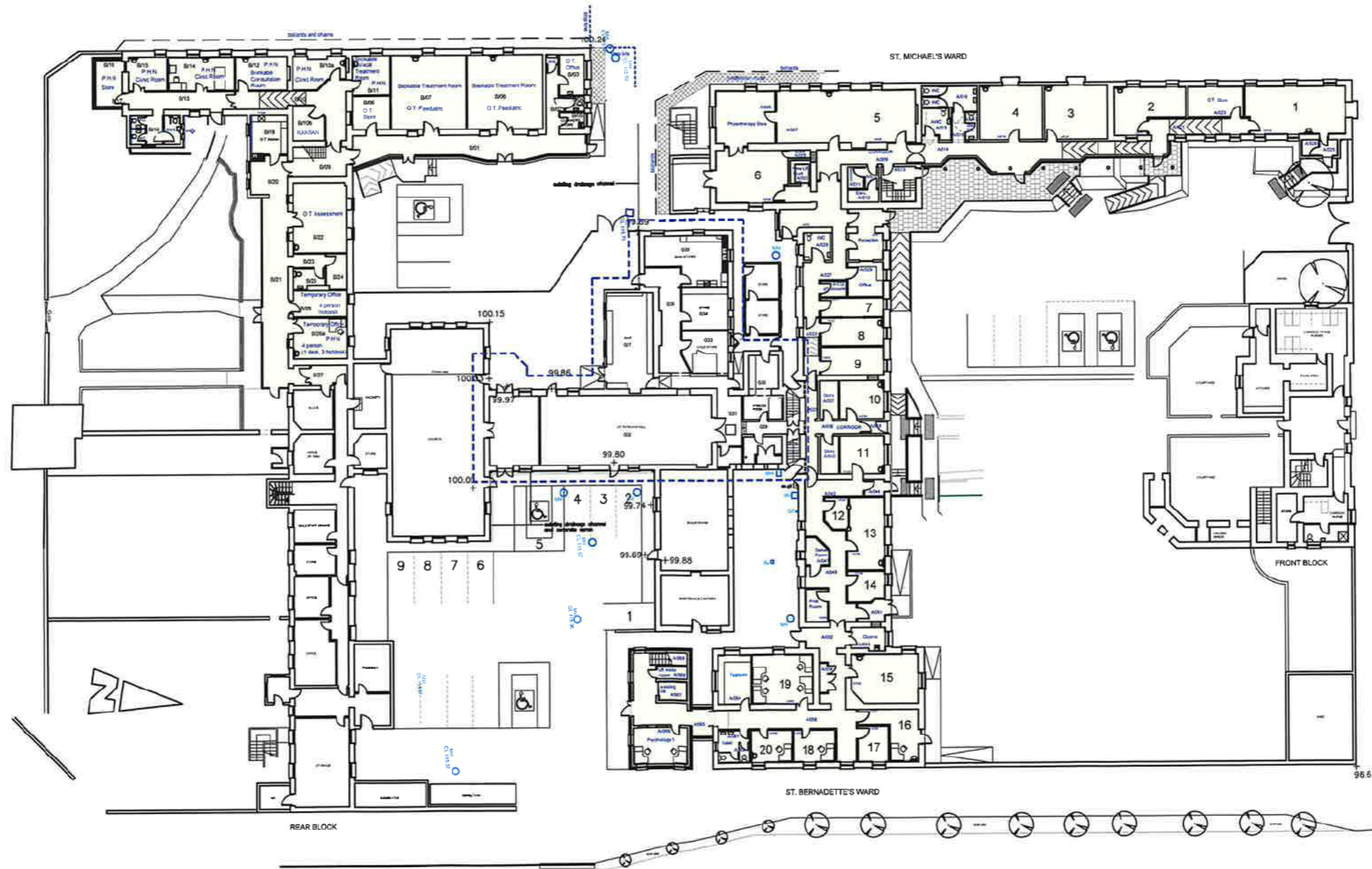
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TIPPERARY CO. COUNCIL
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 05 JUN 2026
 PLANNING SECTION
 FILE NO. 55/24/54

Application for Declaration of Exempted Development – Section 5
 for Works at St. Patrick's Hospital, Cashel, Co. Tipperary for the H.S.E.
 Documents Supporting the Application

Amended June 2026

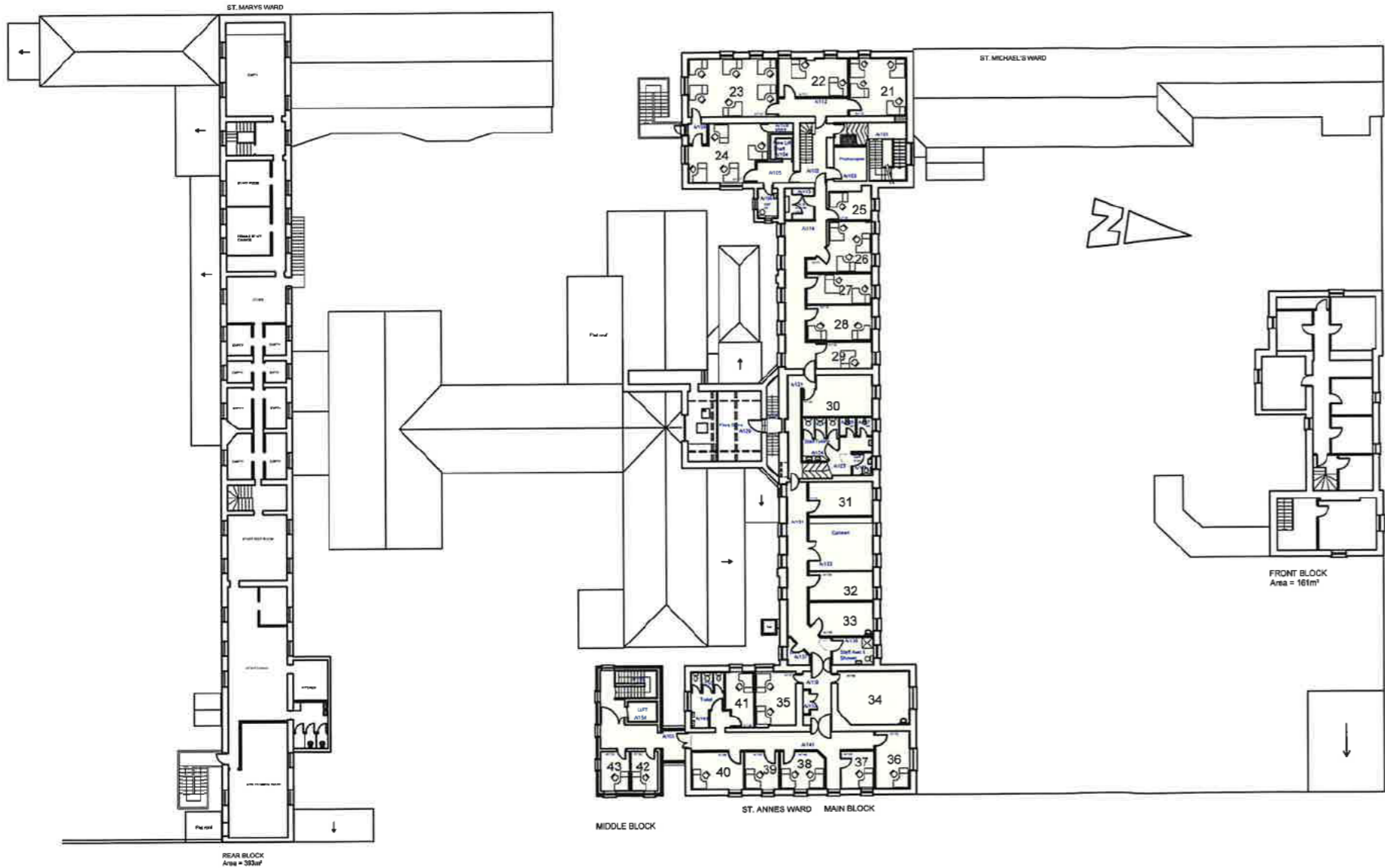
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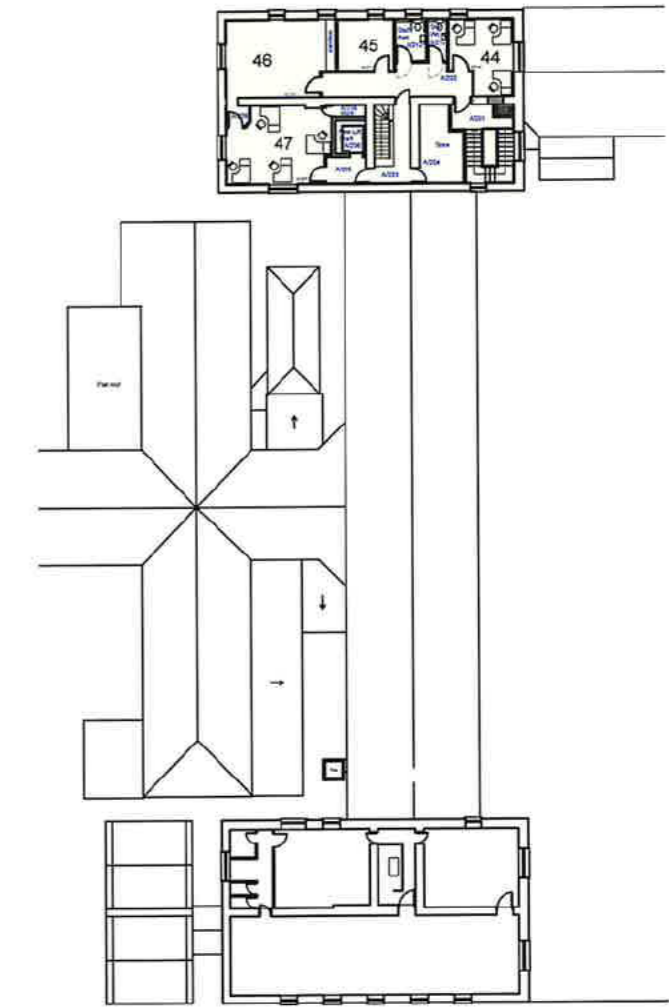
GROUND FLOOR PLAN

TIPPERARY CO. COUNCIL
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PLANNING SECTION
FILE NO. 22/26/54

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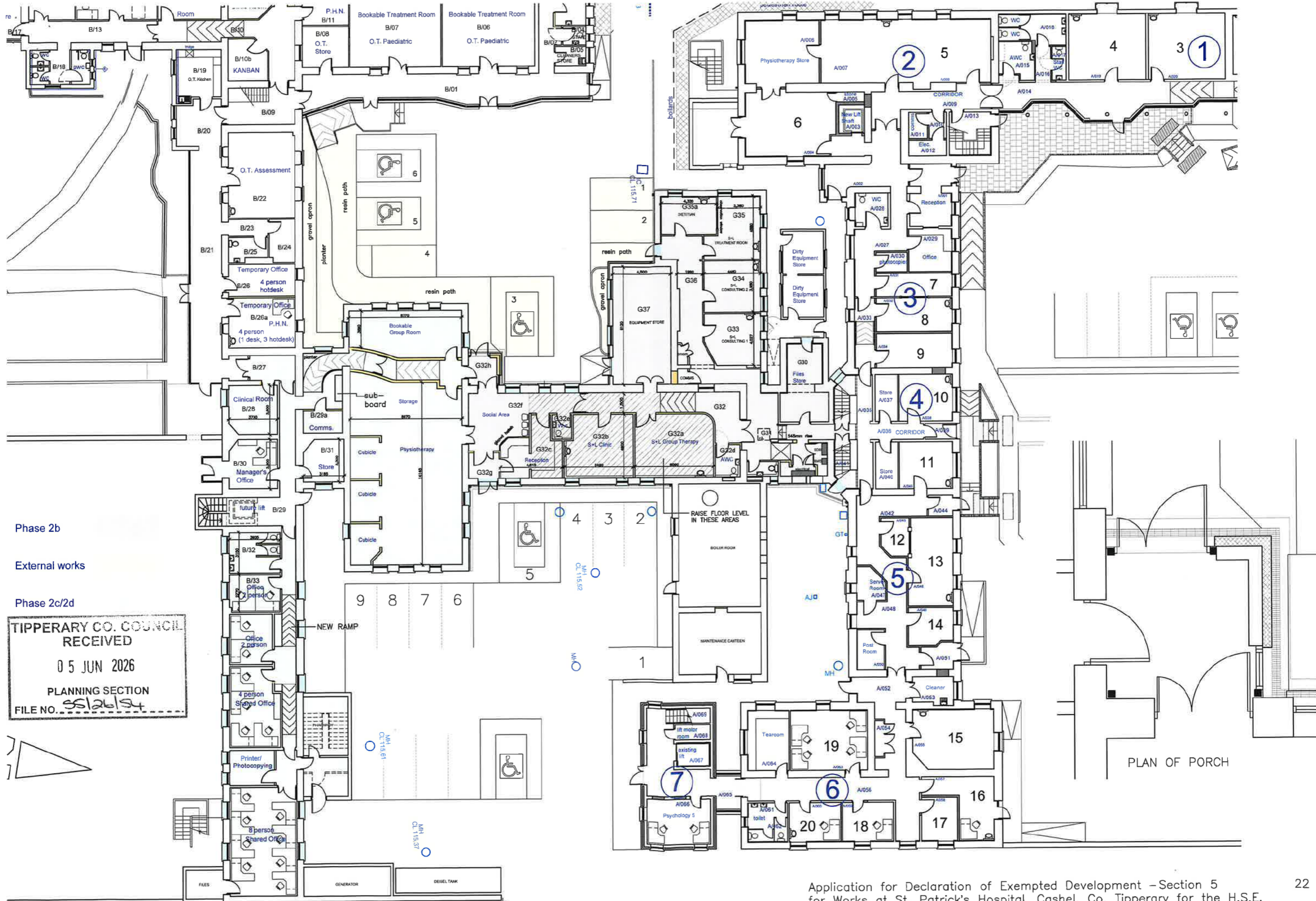


FIRST FLOOR PLAN



SECOND FLOOR PLAN

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TIPPERARY CO. COUNCIL
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 PLANNING SECTION
 FILE NO. 55126/54

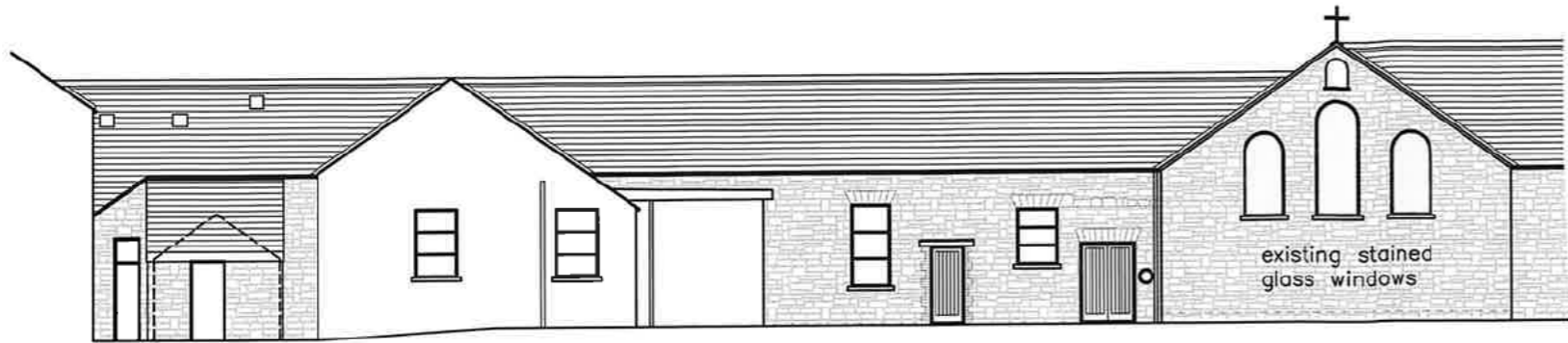
Phase 2b
 External works
 Phase 2c/2d

PLAN OF PORCH

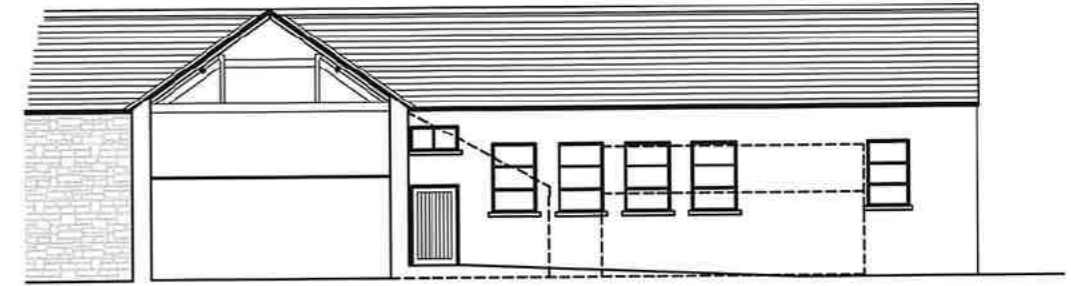
REAR BLOCK

99.41

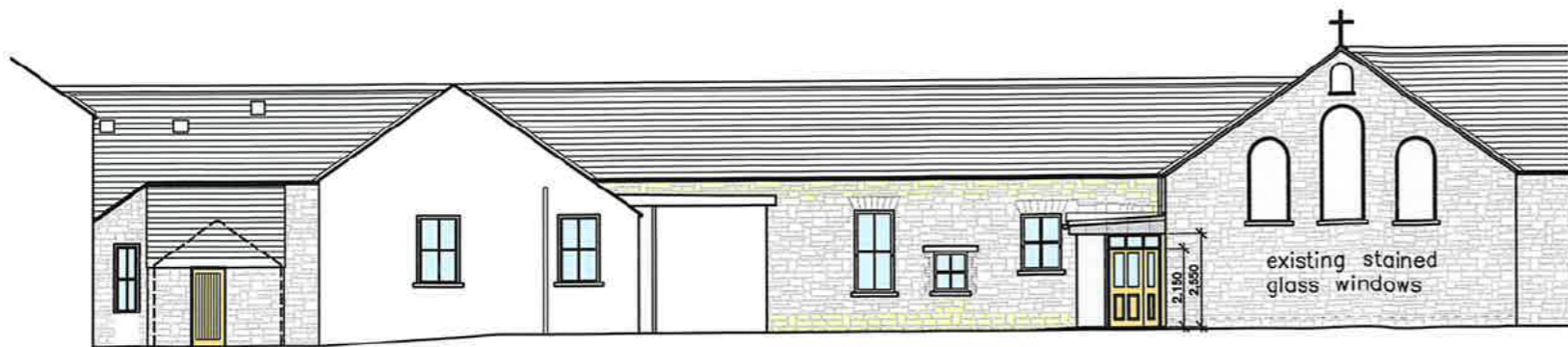
Application for Declaration of Exempted Development – Section 5
 for Works at St. Patrick's Hospital, Cashel, Co. Tipperary for the H.S.E.
 Documents Supporting the Application
 Amended June 2026



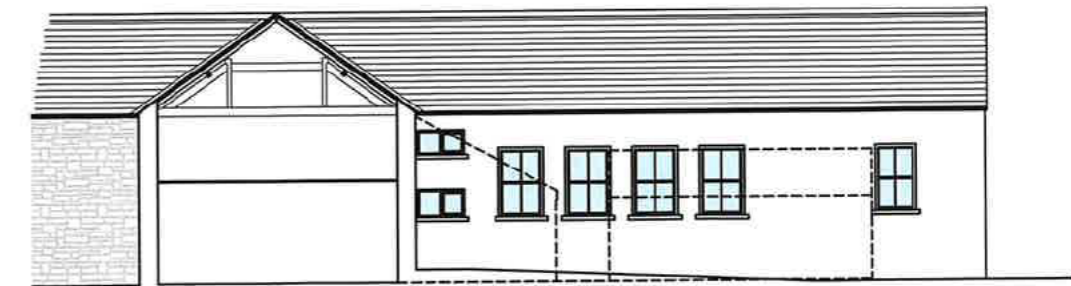
WEST ELEVATION
EXISTING



NORTH ELEVATION
EXISTING

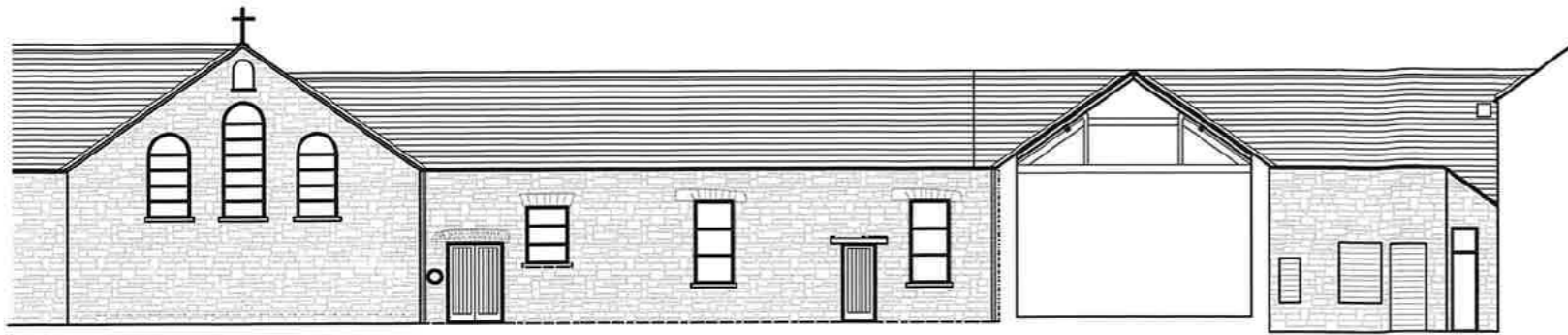


WEST ELEVATION
PROPOSED



NORTH ELEVATION
PROPOSED

TIPPERARY CO. COUNCIL
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05 JUN 2026
PLANNING SECTION
FILE NO. SS126154



EAST ELEVATION
EXISTING



SOUTH ELEVATION
EXISTING



EAST ELEVATION
PROPOSED



SOUTH ELEVATION
PROPOSED



NORTH ELEVATION
EXISTING



NORTH ELEVATION
PROPOSED

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FILE NO. 55/26/24



FORMER ST. PATRICK'S HALL & MORTUARY

Carefully rake out joints in the Door and former Window Heads and clean out open joints. Re-joint and point in Lime Mortar. When jointing, ensure full penetration of each joint.

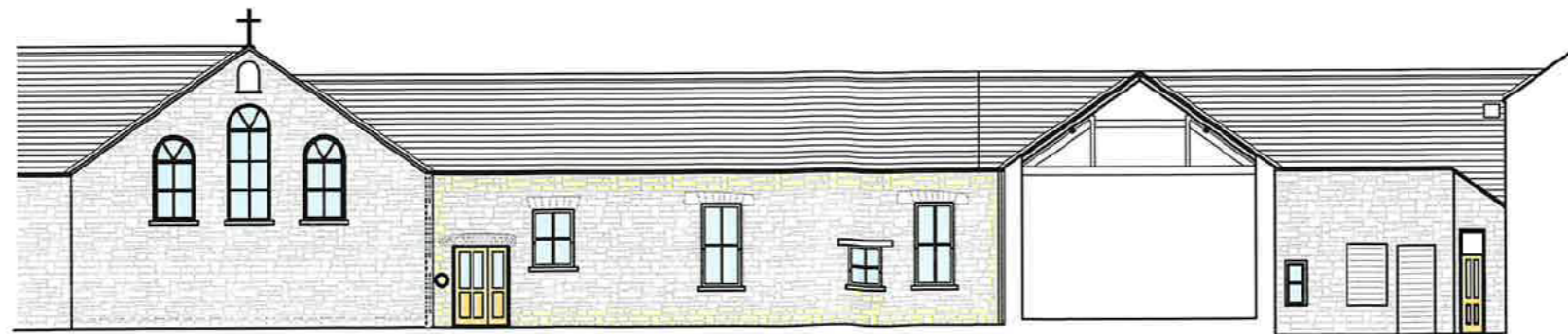
Carefully rake out all joints in the Eaves Course and for 350mm below the eaves clean out, rake out and re-joint and point all open joints in Lime Mortar and neatly match-in to existing. Ensure full penetration at each joint.

Similarly prepare re-joint and point the isolated open joints in the stonework generally.

Carefully remove the existing Render from the Reveals at Opes; Make good to jointing in Lime Mortar then re-render in Lime Render as specified.

Carefully rake out, re-joint and point open joints in the Stone Masonry.

Where a Door being replaced with a Window, carefully remove the Doorset, hack off the render and build up the ope in stone masonry to match existing. Joint and point externally and prepare and plaster internally in insulating Lime Plaster. Provide and install a new larger cill and provide and install the Window.



EAST ELEVATION



TIPPERARY CO. COUNCIL
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05 JUN 2026
PLANNING SECTION
FILE NO. 25126154



EAST ELEVATION

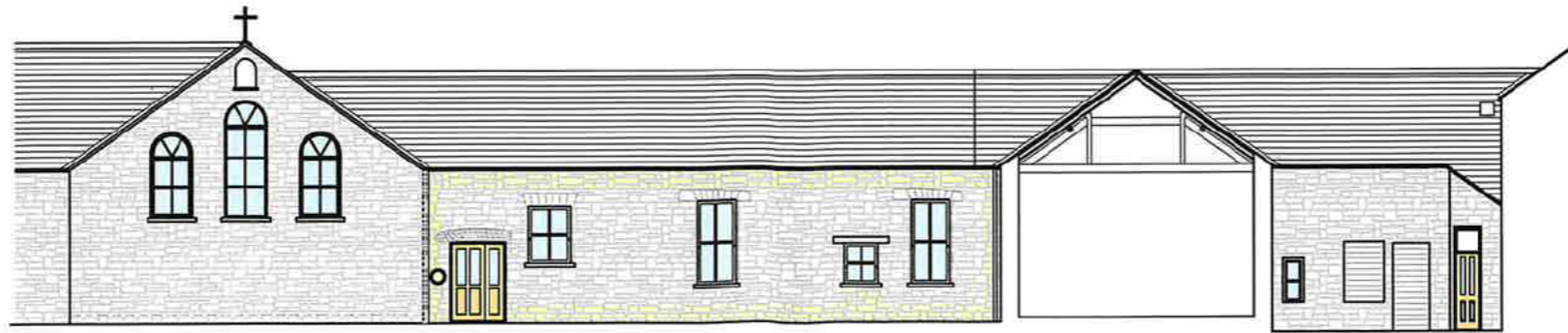
Between the Boiler room and Cnoc na Rí

Carefully clean the Stonework.

From ground level to the underside of the Electrical Containment, for the extent where the wall has been rendered, Carefully Hack off and Remove the Existing Render; Re-Joint the Masonry in Lime Mortar then render in Lime Render as specified.

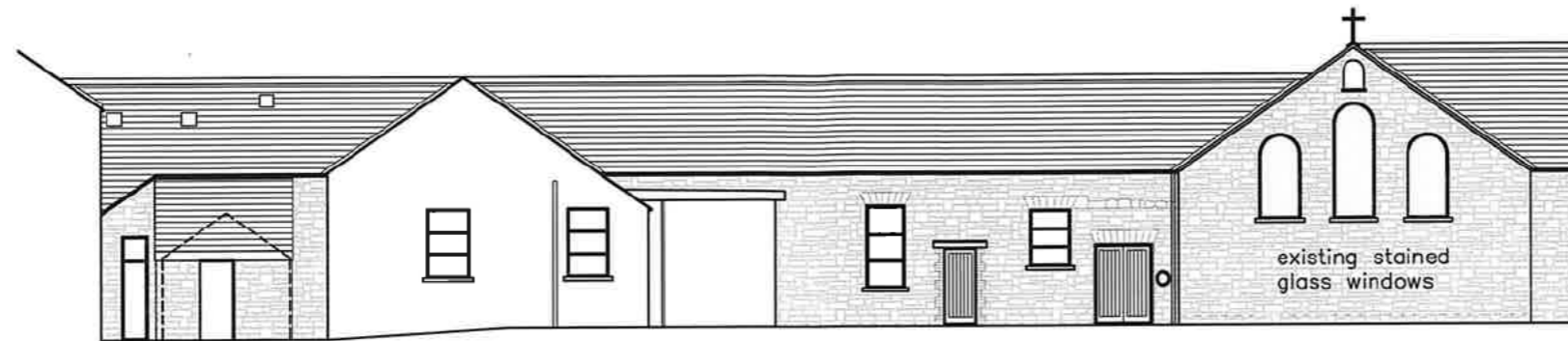
Above the containment, and full-height to the North of that, carefully clean out re-joint and point the Eaves Courses and for 400mm below that, and full-height at splayed corners, carefully clean and rake out all joints, including the Door Head.

Re-joint and point in Lime Mortar and ensure full penetration at all joints.

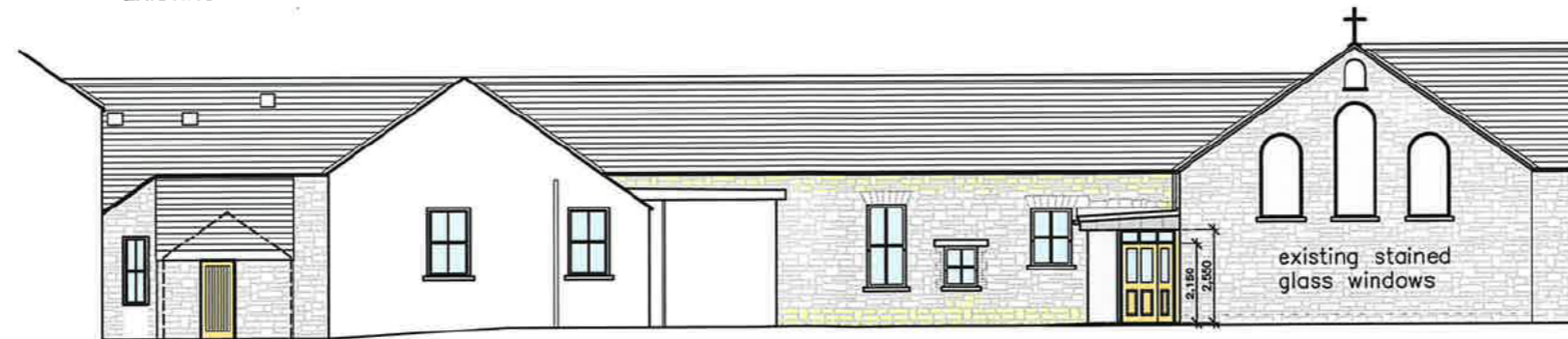


EAST ELEVATION

TIPPERARY CO. COUNCIL
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05 JUN 2026
PLANNING SECTION
FILE NO. 35/26/54



WEST ELEVATION
EXISTING



WEST ELEVATION
PROPOSED



FORMER ST. PATRICK'S HALL & MORTUARY

Carefully rake out joints in the Door and former Window Heads and clean out open joints. Re-joint and point in Lime Mortar. When jointing, ensure full penetration of each joint.

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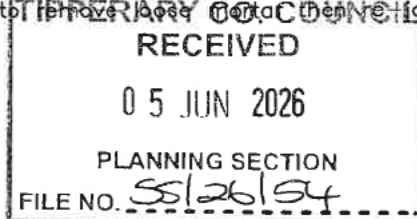
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BETWEEN SECTION 2 AND CNOC NA RÍ (Back Wall and Returns)

To the Stone Masonry generally, on the back wall and on the returns at each side of the Store (G.30) carefully wash with gentle steam and brush down. Carefully rake out all joints to the level of the mortar joint in Lime Mortar, ensuring full penetration and re-point in Lime Mortar to match existing.





Comhairle Contae Thiobraid Árann
Tipperary County Council

Comhairle Contae
Thiobraid Árann,
Oifigí Cathartha,
Cluain Meala,
Co. Thiobraid Árann
Tipperary County Council,
Civic Offices, Clonmel,
Co. Tipperary
E91 N512

Comhairle Contae
Thiobraid Árann,
Oifigí Cathartha,
An tAonach,
Co. Thiobraid Árann
Tipperary County Council,
Civic Offices, Nenagh,
Co. Tipperary
E45 A099

t 0818 06 5000/600
e customerservice
@tipperarycoco.ie

tipperarycoco.ie

Date: 5th June 2026

Our Ref: S5/26/54

Civic Offices, Clonmel

Health Service Executive,
C/O W.O. Morrissey & Sons,
Thomas Street,
Clonmel,
Co. Tipperary,
E91 P210.

Re: Application for a Section 5 Declaration – Alterations and refurbishment / conservation works to the existing health care building to accommodate daycare and therapy services and to conserve and restore character to the protected structure at St. Patricks Hospital, Cahir Road, Cashel, Co. Tipperary.

Dear Mr. Morrissey,

I acknowledge receipt of Further Information received on 5th June 2026 in connection with the above.

I wish to advise that you will be notified of a decision on your application in due course.

Yours sincerely

for **Director of Services.**

**PROPOSED ALTERATIONS AND REFURBISHMENT/CONSERVATION
WORKS
TO PARTS OF THE EXISTING BUILDING
AT ST. PATRICK'S HOSPITAL, CASHEL, CO. TIPPERARY
PROTECTED STRUCTURE NO. 22105082**

**APPLICATION FOR DECLARATION OF EXEMPTED DEVELOPMENT
SECTION 5 – PLANNING & DEVELOPMENT ACT 2000 (AS AMENDED)**

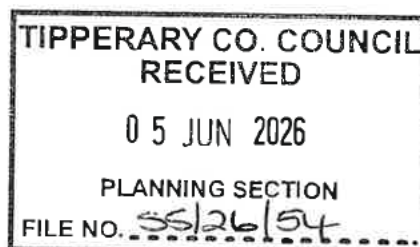
ON BEHALF OF THE HEALTH SERVICE EXECUTIVE



**DOCUMENTS SUPPORTING THE APPLICATION
(Amended in Response to Request for Further Information)**

**W. O. MORRISSEY & SON
ARCHITECTS
THOMAS STREET
CLONMEL
CO. TIPPERARY
TEL. (052)6121621/6123022
Email: info@morrisseyarchitects.ie**

**APRIL 2026
Amended June 2026**





Part of Former Hall and Church
East Side

**PROPOSED ALTERATIONS AND REFURBISHMENT/CONSERVATION WORKS
TO PARTS OF THE EXISTING BUILDING
AT ST. PATRICK'S HOSPITAL, CASHEL, CO. TIPPERARY
PROTECTED STRUCTURE NO. 22105082**

**APPLICATION FOR DECLARATION OF EXEMPTED DEVELOPMENT
SECTION 5 – PLANNING & DEVELOPMENT ACT 2000 (AS AMENDED)**

ON BEHALF OF THE HEALTH SERVICE EXECUTIVE

RESPONSE TO REQUEST FOR FURTHER INFORMATION

A. DOCUMENTS INCLUDED

Documents Responding to the Request for Further Information include:

This Amended Written Report
with Drawings and Photographs
(The Application Form and our Cheque for €80.00 were submitted with the Original
Application).

Drawings showing the Existing Building and the Proposed Works.

Our cheque for €80.00 was included, with the Original Application.

B. INTRODUCTION

St. Patrick's Hospital, dating from c.1845 is a Protected Structure of Regional Importance.
Categories of Interest are "Architectural and Social".

Built originally as a Workhouse, it subsequently became a County Home.
Up to 2020 part of it was used as a Residential Care Centre.

The Upper Storey of the back (South) Block has been vacant for some time.
The East end of that Block is vacant on the Ground Storey also.

Following the onset of Covid in 2020, the Main Building on St. Patrick's Campus was
deemed unsuitable for Residential Care and the Residents/Patients were transferred to Our
Lady's Hospital.



Central Car Park – Looking South



Central Car Park – Looking West

Short-Term Residential Care/Rehabilitation continues on St. Patrick's Campus in other Buildings.

When the Building was vacated in 2020, the H.S.E. commenced a Programme of Alterations and Refurbishment/Conservation Works so that the Building can continue in use for Health Care.

The Initial Stage (Phases 1 & 2A), to accommodate Services displaced from Our Lady's Hospital was completed in 2021.

Work on Phase 2B commenced in 2022 but was paused, pending Availability of Funding.

The H.S.E. is now in a position to resume Work this Summer and to continue the Work, in Stages, to Alter and Refurbish the full Building.

It is envisaged that the Work to proceed during 2026 will include Completion of Phase 2B (shaded Grey on Plan) and following with 2C, Ground Storey (shaded Green on Plan).

The Upper Storey of the South Block, together with a New Lift for that Block and Replacement of the Front Extension on that Block would follow.

At present, those parts of the Building are unfit for use so the Proposed Works are essential to make the full Building usable and to Extend the life of the Protected Structure.

B.2 REASONS FOR APPLICATION FOR A SECTION 5 DECLARATION OF EXEMPTION

This Section 5 Declaration is required for the following reasons:

- Parts of the Building have been Altered and Refurbished and are in use. The remaining parts of the Building are unsuitable for use. They need Upgrading, Repair and Refurbishment to make the Building weather tight and to improve its Energy Performance. Full Renewal of the Building Services Installations forms part of the Works Programme. The Proposed Works will Conserve, and (through Windows Replacement, Roof Repairs/Re-Slating, Stonework Repairs etc.) Restore Character to the Protected Structure.



Side Wall of Church

C. PROPOSAL

The Proposal is to continue and Complete the Work of Altering, Refurbishing and Conserving the Existing Building so that it will meet the Accommodation Needs of the Service Users, and Provide a Comfortable Working Environment, while Retaining and Enhancing the Character of the Protected Structure.

Proposed Works include the following:

Alterations to Internal Layout, to suit the needs of the Proposed Service Users.

Those will include:

Removal of some Partitions and Construction of new Partitions, complete with Door Assemblies etc.

Altering of Openings;

Forming Ramps; Installing a Platform Lift,

Raising parts of the Floor in the Former St. Patrick's Hall, to match those in Adjoining Areas;

Construction of a small Entrance/Exit/Link Lobby.

Works of Repair, Upgrading/Refurbishment/Conservation and Restoration of Character and Improvement of Energy Performance.

Those will include:

Removal of Existing Aluminium (and some PVC) Windows.

Providing and Installing New Sliding Sash Windows, in Hardwood, Painted, Double-Glazed in High Energy Performance Thin Glazing and having a Glazing Pattern which will reflect the Heritage Status of the Building.

Installing New External Doorsets in Hardwood, Painted.

Open Joints in exposed Stonework, Externally, will be carefully cleaned out and Re-Jointed in Lime Mortar.



East Inner Yard
Looking West



West Inner Yard
Looking East

- Alterations in Phase 2B will be mainly concentrated in the Former St. Patrick's Hall, which will be Sub-Divided with Partitions to form the required Accommodation and to form a Link Corridor from the Front Building to the Back.

This will include Forming a Ramp and Raising Floor Levels in some Rooms.

As far as practicable, those changes will be Reversible.

A small External Lobby will be formed to serve as a Link.



Former Hall
West Side

Changes to the Approach to the former Hall from the Front Building will include Installation of a Platform Lift, for Accessibility.

- Repairs/Reinstatement Works to Building Fabric will include;
Making Good to Roof Structure as required, Stripping and Re-Slating (in Natural Slate) Sections of Roof where the existing Slating is in poor condition;
Replacement of Damaged Cast Iron Rainwater Goods and Repairs to Existing,
Replacing Seamless Aluminium Rainwater Goods with New Cast Rainwater Goods Pre-Finished in Black;
Carefully Raking out open Joints in Stonework externally and Re-Jointing in Lime Mortar Finished Flush to match existing.
- Cleaning out Attic Areas;
Installing Crawl Boards; Insulating (and Ventilating) Attic Areas;
Repairs to Ceilings and Provision of New Ceilings in some Locations; Repairs to Walls and Partitions;
Supply and Installation of New Door Assemblies, Skirtings, Architraves, Linings and Trim; New Floor Finishes; Painting and Decoration.
- Upgrading/Repairing, Commissioning and Certifying the Building Services Installations including Heating, Ventilation, Plumbing & Sanitary, Electrical including Power & Data, Lighting, Emergency Lighting including Exit and Escape Lighting, Fire Detection & alarm Installation; Intruder Alarm Installation etc.
- External Works will include Forming Sloped Access and Landings to External Doors, Connections to Drainage and Water Services to serve the Altered Building;
Making Good to Roads, Paths & Parking Areas etc., Marking Parking Areas (where shaded Yellow on Plan).

DRAWINGS & PHOTOGRAPHS

These show the Existing and Proposed Plans, and Elevations and Photographs of the Existing Building.



South Block

D. NOTES ON PROPOSED WORKS / METHODOLOGY

D.1 APPROACH

The Approach to all New Works will be Conservation Led, adopting the following Principles:

Limit Interventions to those which are Essential to Restore the Protected Structure, to Ensure its Durability into the future, and Interventions which are necessary to make the Building suitable for its Proposed Use. (This Amended Proposal to Re-Using existing Door Ope at Sacristy, Infilling a Hatch Ope at the Equipment Store and Retaining a Window Ope has reduced the Proposed Interventions.

As far as Practicable, all Interventions will be Reversible.

Where changes in Layout or Levels are required, the existing Walls etc. will be Retained as far as practicable and, where new Partitions or Raised Floors are being Installed, Reversible Construction will be used

They will also Conceal Drainage Runs or Building Services.

D.2 NEW ENTRANCE / EXIT LOBBY

To Accommodate the differing Structural Behaviour of the New and Existing Buildings, the Entrance Lobby will be a Free-Standing Structure (Raft Foundation & Framed Structure) with Flexible Sealant at Abutments with the Existing.

The Counter Flashing will be set into the joint one course above the Stone Heads to the Door Ope and Pointed in with Lime Mortar, to match existing.

D.3 FORMING NEW OR ENLARGED OPENINGS OR OTHERWISE ALTERING OPES IN HISTORIC MASONRY WALLS

Such Works will be undertaken by Carefully Removing Existing Plaster or Linings from each face of each proposed Ope, to see the existing Construction and Condition; Pinning and Propping them, Carefully Opening Up, one side at a time, Inserting the New Heads, bedded and jointed in Lime Mortar, then gently Removing the Temporary Supports and neatly Building Back, in Stone, bedded and jointed in Lime Mortar.

The Methodology for any such Work to Historic Masonry Walls will be as follows:

- Isolate and Remove existing Linings or Plaster on each side, to Expose the underlying Construction, taking care and working progressively, so that any concealed existing Features (Arches, Ope, Niches etc.) will be exposed and Protected.

If any such Feature is found, the Option of repositioning the Intervention will be considered. If practicable, the Feature will be Jointed and Pointed and left Exposed, where that is not practicable, the Feature/Detail will be Recorded.



To form new or enlarged Oses, Carefully Pin and Prop, then, Working from one side at a time, Carefully take out Existing Masonry to form Bearing Pads for the New Heads.

Provide and Install the New Heads on a bed of Lime Mortar, then Joint at the Top and each end in Lime Mortar;

Carefully Remove the Pinning and Props.

Building Back the Stone Masonry in Lime Mortar to match existing;

Reinstating the Finishes on each side.

Where new mortar is required, the mix shall be matched by taking samples of existing and having them matched by a Lime Specialist (Stoneware Studios Ltd., Pillmore, Youghal, Co. Cork, or equivalent Specialist).

Because they will improve Circulation, Work of Raising the Floors and forming Ramps etc. will be of Permanent Construction.

To make them Reversible, the existing Coverings will be removed and the base lined with Foil Wrapped Insulation which will form an isolating layer and allow for future Removal, if required.

The Raised Floors & Screeds will be separated from the Stone Masonry with a Breathable Isolating Layer.

The Raised Floors, combined with Skirting Ducts will be used to route wastes from the New Toilet to the existing within the Building.

The Outlet to the existing Sewer will be used, so No Excavation will be required externally.

D.4 BUILDING SERVICES INSTALLATIONS

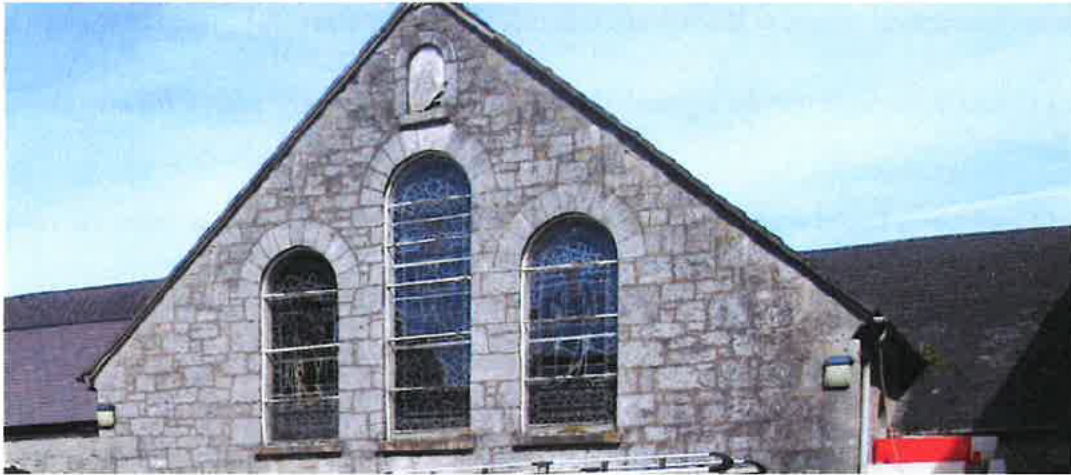
The Alterations and Upgrading Works to the Building Services Installations will follow a Conservation Led Approach; based on the following:

Minimising Intervention by use of existing Service Routes.

Re-use of existing Infrastructure, where practicable.

Utilising newly Constructed Partitions as Service Zones to accommodate Service Pipework and Distribution Systems using Skirting Ducts. Etc. to bring new Soil & Wase Pipes within the Building to Discharge to existing Drainage Outlets thus obviating the need for Excavation or Ground Disturbance externally.

Avoiding Chasing, Embedding or Cutting into Historic Masonry or Decorative Finishes.



D.5 ROOF REPAIRS AND RE-SLATING

The Roofs over the Lean-To at the Files Store (E-30) and the former Church are slated with Asbestos Containing Slates.

Those slates will be Removed and Disposed of by a Licensed Asbestos Removal Contractor and the Work shall be Monitored by a Licensed Asbestos Consultant who shall issue an Air Certificate/Re-Occupation Certificate on Completion of the Work in each Area.

When the Roof Structures are exposed, they will be Inspected.

Decayed Timbers will be Removed and Replaced with New Sections spliced to existing. Where necessary, Additional Timbers will be Inserted to strengthen the Structure.

The Remaining Roofs are covered with Natural Slates.

Some are reasonably new and are in good condition.

Older Sections will need to be Stripped and Re-slated.

As Slates are being taken down, each shall be Inspected and Assessed.

Any which are suitable for re-use shall be graded and set aside.

They will be re-used in Re-Slating and Supplemented, as necessary, with re-claimed Bangor Blue Slates.

Those not suitable for re-use will be Sustainably Disposed of and re-used in the Works.

Roof Timbers exposed by the Works will be Inspected.

D.6 STAINED GLASS WINDOWS

The Stained Glass Windows on the West side of the Former Church will be covered to protect them from damage during the Works.

On Completion, they will be Inspected and Cleaned by a Stained-Glass Specialist and Leading will be Repaired/Reinstated where required.

The existing Storm Glazing will be Removed and will be Replaced with Powder Coated Grey Mesh.

APPENDIX

AMENDED DRAWINGS NOS. 19 - 27



Comhairle Contae Thiobraid Árann
Tipperary County Council

Comhairle Contae
Thiobraid Árann,
Oifigí Cathartha,
Cluain Meala,
Co. Thiobraid Árann
Tipperary County Council,
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Date: 5th June 2026

Our Ref: S5/26/54

Civic Offices, Clonmel

Health Service Executive,
C/O W.O. Morrissey & Sons,
Thomas Street,
Clonmel,
Co. Tipperary,
E91 P210.

Re: Application for a Section 5 Declaration – Alterations and refurbishment / conservation works to the existing health care building to accommodate daycare and therapy services and to conserve and restore character to the protected structure at St. Patricks Hospital, Cahir Road, Cashel, Co. Tipperary.

Dear Mr. Morrissey,

I acknowledge receipt of Further Information received on 5th June 2026 in connection with the above.

I wish to advise that you will be notified of a decision on your application in due course.

Yours sincerely

for **Director of Services.**

From: Hunter, Eamonn [REDACTED]
Sent: Monday, June 22, 2026 16:41
To: Butler-Ryan, Lauren [REDACTED]
Subject: Re: S5/26/54 - HSE C/O W O Morrissey FI Rec 05.06 - LBR

Hi Lauren

I had a look.

W. O. Morrissey has given a good go of saying they'll do a nice job on the building, but they haven't provided enough information to demonstrate that they have all the necessary conservation knowledge to oversee the appropriately experienced contractors required to complete the still quite general schedule of works to the protected structure.

They have definitely shown good intent and the amendment of the layout of ramps shown in the FI response has reduced the number of new openings in historic masonry walls required to provide ramped access through the facility. However, the apparently ad-hoc nature of the layout design and the very open-ended scope of works to the roof, walls, windows etc. suggests that the application team has relatively limited experience of the level of work required to maintain and repair historic masonry buildings.

If this was a planning application, I would condition that an appropriately experienced conservation professional should provide a comprehensive schedule of all works proposed, cross referenced with more detailed drawings than those plan and elevation drawings provided with the original application and FI response. I would also require detailed conservation method statements that build on the good but insufficiently detailed methodology notes provided in the FI response (pgs 13-17) for the appropriate repair of roofs, rainwater goods, external and internal wall masonry, stained glass window repairs and service provision.

I have not seen sufficient information provided to demonstrate that the proposed works will not have a material impact on the character and fabric of the protected structure. The items of work that clearly do have a direct impact on historic masonry fabric (creation of new openings) have not been adequately assessed to determine the nature or magnitude of the impacts on the character of the protected structure. I am not concerned that what is proposed will have a major impact on the protected structure but without the ability to guard against poor-quality design and workmanship (with appropriate conditions), I feel that there is an unacceptable level of potential risk to the character of the protected structure to declare the proposed works as exempted development.

The additional level of detail required for a planning application (conservation methodology and detailed scope of works) will be necessary to include on any contractor tender documents in order to ensure a good standard of durable and sustainable works to the protected structure. Lack of appropriate consideration of works exactly like those proposed for St Patrick's Hospital has resulted in very poor outcomes for many other protected structures and very inefficient use of resources and I would encourage the applicants to build on the acceptable ideas that they've submitted so far with a more detailed planning application.

Regards

Eamonn

TIPPERARY COUNTY COUNCIL

Application for Declaration under Section 5

Report No. 2

Planning & Development Act 2000, as amended
Planning & Development Regulations 2001, as amended

Planning Reference: S5/26/54

Applicant: Health Service Executive

Development Address: St. Patricks Hospital, Cahir Road, Cashel, Co. Tipperary

Proposed Development: Alterations and refurbishment / conservation works to the existing health care building to accommodate daycare and therapy services and to conserve and restore character to the protected structure.

Further information was requested on 12th May 2026 under Section 5(2) of the above cited Act. Further information response was received on 5th June 2026.

1. GENERAL

On the 16th April 2026 a request was made for a declaration under Section 5 of the Planning and Development Act, 2000 as amended Health Service Executive c/o W.O. Morrissey & Son Architects in respect of the following development at St. Patricks Hospital, Cahir Road, Cashel, Co. Tipperary

The development details listed in the application are as follows;

Alterations and refurbishment / conservation works to the existing health care building to accommodate daycare and therapy services and to conserve and restore character to the protected structure.

The application is accompanied by the following:

- Section 5 Application Form
- Cover Letter,
- Site Location Maps,
- Elevation and floor plan drawings,
- Scope of works report,
- Schedule of photographs of the interior and exterior of the building

The building is a Protected Structure **RPS:64** as contained within the Cashel & Environs Development Plan 2009, as varied.

The building is also listed on the National Inventory of Architectural Heritage (NIAH) under reference 22105082 with a regional importance rating and as follows;

Description

Former workhouse complex, built 1842. Five-bay two-storey with dormer attic former master's house to front of complex having end bays gable-fronted and slightly-advanced to front and gable-fronted and projecting to rear and having recent single-bay two-storey pitched-roofed addition to rear. Pitched slate roof with red brick multiple chimneystack, dressed limestone copings to gables, dressed limestone pediments to upper windows of central front bays with false arrow loop details and gable-fronted dormer windows to rear having decorative timber bargeboards. Roughly-dressed limestone walls with rubble limestone plinth, carved limestone plinth coping and string course. Square-headed window openings with limestone sills, replacement uPVC windows and chamfered dressed limestone

surrounds, having carved limestone label-mouldings to upper windows of end bays. Four-centred-arch opening with chamfered dressed limestone voussoirs and surround, replacement timber door and frame and limestone steps. Doorway flanked by two-light timber casement windows, all under carved limestone label-moulding, echoed by raised section of string course above. H-plan block to south consisting of fifteen-bay two-storey central section and double gable-fronted two-bay three-storey end projections to front and rear, with five-bay end elevations. Pitched artificial slate roofs with rendered chimneystacks, cast-iron rainwater goods and having dressed limestone brackets to gable ends. Snecked limestone walls with snecked limestone plinth. Square-headed window openings with limestone sills, render and some chamfered dressed limestone surrounds and replacement uPVC windows. Some later inserted square-headed doorways with replacement uPVC doors. Four-centred-arch doorway to centre of front elevation with chamfered dressed limestone voussoirs and replacement timber door and frame. Twenty-two bay two-storey block further south having pitched slate roof with rendered chimneystacks, rubble limestone walls, dressed stone to camber-arch openings with replacement uPVC windows. Four-bay single-storey block at right angles to west end of south elevation and recent multiple-bay single-storey block at right angles to west end of north elevation. Chapel and various single-storey buildings, old and recent, between this block and main H-plan block. Chapel is cruciform in plan, having pitched slate roof with cut-stone cross finials to east and west gables, coursed rubble limestone walls with dressed quoins and dressed stone voussoirs to round-headed and some square-headed uPVC replacement windows. Groups of three round-headed windows to east and west elevations, with round-headed recesses above. Further five-bay two-storey and single-storey blocks further to south, having pitched slate roofs and rubble limestone walls with dressed voussoirs to camber-arch openings with replacement aluminium windows, single-storey building having brick chimneystacks. Outbuildings inside boundary of site to north with pitched slate roofs, rendered walls, square-headed openings with two-over-two pane timber sliding sash windows and painted stone sills and square-headed openings with replacement timber doors. Rubble limestone boundary walls with cut limestone capping and cast-iron railings, rubble limestone walls to pedestrian entrances with dressed limestone coping, square-headed openings with dressed limestone lintels and cast-iron gates. Cast-iron gate to main entrance. Limestone pedestrian gateway to west boundary with pointed-arch opening with dressed voussoirs and decorative wrought-iron gate.

Appraisal

This Tudor Revival style building is typical in form and style to other workhouses of its time in Ireland. The multiple gables of the main building add variety and interest to the complex. It includes well executed features such as the string course and label-mouldings to the master's house. The window surrounds, copings and chamfered voussoirs show evidence of fine stone crafting. The gates also show well designed and executed crafting.

2. STATUTORY PROVISIONS

The following statutory provisions are relevant to this case;

Planning and Development Act 2000, as amended

The Planning and Development Act 2000, as amended (hereafter referred to as the Act), states as follows:-

Interpretation.

Section 2(1) includes the following definitions:-

In this Act, except where the context otherwise requires—

“development” has the meaning assigned to it by Section 3 and development shall be construed accordingly.”

“works” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

“alteration” includes—

(a) plastering or painting or the removal of plaster or stucco, or

(b) the replacement of a door, window or roof, that materially alters the external appearance of a structure so as to render the appearance inconsistent with the character of the structure or neighbouring structures; “structure” means any building, structure, excavation, or other thing constructed or made on, in or under any land, or any part of a structure so defined, and—

(a) where the context so admits, includes the land on, in or under which the structure is situate, and

(b) in relation to a protected structure or proposed protected structure, includes—

(i) the interior of the structure,

(ii) the land lying within the curtilage of the structure,

(iii) any other structures lying within that curtilage and their interiors, and

(iv) all fixtures and features which form part of the interior or exterior of any structure or structures referred to in subparagraph (i) or (iii);

Section 3(1)

“In this Act, ‘development’ means, except where the context otherwise requires, the carrying out of works on, in, over or under land or the making of any material change in the use of any structures or other land.”

Section 4(1)(h) states as follows:-

(4)(1)(h) development consisting of the carrying out of works for the **maintenance, improvement or other alteration** of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;

Section 4(2)(a) states as follows:-

(2)(a) The Minister may by regulations provide for any class of development to be exempted development for the purposes of this Act where he or she is of the opinion that—

(i) by reason of the size, nature or limited effect on its surroundings, of development belonging to that class, the carrying out of such development would not offend against principles of proper planning and sustainable development, or

(ii) the development is authorised, or is required to be authorised, by or under any enactment (whether the authorisation takes the form of the grant of a licence, consent, approval or any other type of authorisation) where the enactment concerned requires there to be consultation (howsoever described) with members of the public in relation to the proposed development prior to the granting of the authorisation (howsoever described).

Section 4(4) states as follows:-

4(4) Notwithstanding paragraphs (a), (i), (ia) and (l) of subsection (1) and any regulations under subsection (2), development shall not be exempted development if an environmental impact assessment or an appropriate assessment of the development is required.

Section 57 states as follows:-

Works affecting character of protected structures or proposed protected structures

57. (1) Notwithstanding section 4(1)(a), (h), (i), (ia), (j), (k), or (l) and any regulations made under section 4(2), the carrying out of works to a protected structure, or a proposed protected structure, shall be exempted development only if those works would not materially affect the character of—

(a) the structure, or

(b) any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest.

3. **ASSESSMENT**

a. **Site Location**

The site comprises of St. Patricks Hospital on the Cahir Road within the settlement of Cashel, Co. Tipperary. The building is a Protected Structure RPS:64 as contained within the Cashel & Environs Development Plan 2009, as varied.

b. **Relevant Planning History**

23/77 Application Withdrawn

00570771 Permission GRANTED for new single storey day room extension at St Claires Ward.

00571037 Permission GRANTED for refurbishment and single storey extension to front side and rear of St. Brigids Assessment Unit- a protected structure.

c. **Assessment**

The question posed under the Section 5 Declaration application is whether alterations and refurbishment / conservation works to the existing health care building to accommodate daycare and therapy services and to conserve and restore character to the protected structure is development and is exempted development.

i) "Is or is not Development"

It is considered that the above listed proposal constitutes "works" as understood by the Planning and Development Act 2000, as amended. The above listed proposal therefore constitutes "development" within the meaning of the Planning and Development Act 2000, as amended.

ii) "Is or is not Exempted Development"

There is no specific class of exemption under Part 1, 2 or 3 of Schedule 2 of the Planning and Development Regulations 2001, as amended, relating to a proposal of this nature.

The most relevant section in this case is Section 4(1)h of the Act which states the following is exempted;

*"Development consisting of the carrying out of works for the **maintenance**, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;*

I consider that the works referred to under this application is for the maintenance or improvement of the structure.

The proposed works (on a phased basis) are listed in the accompanying report under Section C. I am satisfied that the listed works may avail of an exemption under Section 4(1)(h). I note no other exemption that the proposal can avail of.

Notwithstanding the above there is a lack of clarity with the proposal as the full extent of works described in the application are not adequately shown on the submitted drawings and no methodologies have been submitted. Further Information is required.

Restriction on any exemption by virtue of Section 57 (Protected Structure)

The proposal was assessed by the Architectural Conservation Officer (Mr. Eamonn Hunter) (ACO) with report received on 08/05/2026 and it was advised that in order to determine as to whether any available exemption would be limited by Section 57(1) of the Act, further information

should be requested to confirm the proposal would not have a material impact on the Protected Structure.

- *Design detail of the proposed new entrance lobby at the corner between the west elevation of the central block of the building and the north elevation of the former chapel to demonstrate how the differing structural behaviour of the new and existing buildings will be incorporated in a design that prevents any new vulnerability of moisture ingress into the historic masonry structure. Interventions with historic masonry fabric should be minimised where possible and should incorporate materials and techniques that are appropriate and durable.*
- *The proposed methodology for creating new or enlarged openings through historic masonry walls to facilitate a new ramped access from the proposed entrance lobby, heading south through the former chapel and into the southern range of buildings. This should be based on good conservation practice to demonstrate how the minimum quantity of historic masonry or other significant fabric will be removed, how structural integrity of the remaining historic masonry walls will be maintained and how appropriate materials and techniques will be employed in the works to ensure this.*
- *Provide a conservation method statement on how the provision of new services (electrical, plumbing (inc. proposed new toilet), communications and new raised floors will minimise intervention to historic elements of the building and will not introduce any new vulnerability, especially condensation or water ingress risks.*
- *Provide a conservation method statement for the localised raking-out, where necessary, of inappropriate cement or failed mortar joints in historic stonework and replacement with a well-matched appropriate lime pointing mortar, finished to ensure proper moisture movement within the masonry walls.*
- *Provide a conservation method statement for the proposed stripping of roofs, localised repair of the timber structure where necessary, reinstatement of salvaged natural slate supplemented with appropriate, matching natural slate where necessary and the retention, appropriate repair and supplement of historic, cast-iron rainwater goods with new material to match where required.*

iii) Restrictions under Article 9

NA

iv) Requirement for Appropriate Assessment (AA) and Environmental Impact Assessment (EIA)

Section 4(4) of the Act sets out that development shall not be exempted development if an environmental impact assessment or an appropriate assessment of the development is required.

AA

The proposal has been assessed having regard to the requirements of the EU Habitats Directive. The proposal has been screened as to the requirements for AA and the screening assessment considers that the proposal does not impact on any Natura 2000 site. See also Appropriate Assessment (AA) screening report attached as Appendix 1.

EIA

The proposed development has been subject to a preliminary examination to determine the requirement for EIA. EIA is not required in respect of the development. See also for Environmental Impact Assessment (EIA) preliminary examination screening report attached as Appendix 2.

4. FUTHER INFORMATION REQUEST, RESPONSE & ASSESSMENT

Further Information was requested on 12th May 2026 under Section 5(2) of the Act as follows;

1. *The applicant is advised the purpose of a Section 5 of the Planning and Development Act 2000, as amended, is to establish if a particular development is or is not an exempted development within the meaning of the above-mentioned Act based on the proposed development as outlined on the declaration application form, the submitted drawings and supporting documentation. As the building is a Protected Structure the restriction on exemption set out under Section 57 of the Planning and Development Act 2000, as amended, is applicable.*

In order to enable an informed determination as to whether the proposal would have a material impact on the character of the Protected Structure the applicant is requested to submit the following:

- i. *Design detail of the proposed new entrance lobby at the corner between the west elevation of the central block of the building and the north elevation of the former chapel to demonstrate how the differing structural behaviour of the new and existing buildings will be incorporated in a design that prevents any new vulnerability of moisture ingress into the historic masonry structure. Interventions with historic masonry fabric should be minimised where possible and should incorporate materials and techniques that are appropriate and durable.*
- ii. *The proposed methodology for creating new or enlarged openings through historic masonry walls to facilitate a new ramped access from the proposed entrance lobby, heading south through the former chapel and into the southern range of buildings. This should be based on good conservation practice to demonstrate how the minimum quantity of historic masonry or other significant fabric will be removed, how structural integrity of the remaining historic masonry walls will be maintained and how appropriate materials and techniques will be employed in the works to ensure this.*
- iii. *Provide a conservation method statement for the following:*
 - *how the provision of new services (electrical, plumbing (inc. proposed new toilet), communications and new raised floors will minimise intervention to historic elements of the building and will not introduce any new vulnerability, especially condensation or water ingress risks.*
 - *the localised raking-out, where necessary, of inappropriate cement or failed mortar joints in historic stonework and replacement with a well-matched appropriate lime pointing mortar, finished to ensure proper moisture movement within the masonry walls.*
 - *proposed stripping of roofs, localised repair of the timber structure where necessary, reinstatement of salvaged natural slate supplemented with appropriate, matching natural slate where necessary and the retention, appropriate repair and supplement of historic, cast-iron rainwater goods with new material to match where required.*
- iv. *Revised schedule of works with each proposed item of work numbered and cross referenced to a revised set of plans/elevations.*

Further Information response was received on 5th June 2026. Revised drawings, photographs and a revised report have been submitted. The report includes a schedule of works and includes for a discussion on same. The works include;

- Alteration to layout
- Larger opes
- Energy upgrades

- window replacement,
- roof repairs/ re-slating,
- stonework repairs

The proposal was assessed by the Architectural Conservation Officer (Mr. Eamonn Hunter, ACO) who reported on 22/06/2026 that based on the further information response it is considered the proposal is limited by Section 57(1) of the Act as it is not certain as to whether the proposed would not have a material impact on the character and fabric of the Protected Structure.

[the applicant/agent has not] provided enough information to demonstrate that they have all the necessary conservation knowledge to oversee the appropriately experienced contractors required to complete the still quite general schedule of works to the protected structure.

They have definitely shown good intent and the amendment of the layout of ramps shown in the FI response has reduced the number of new openings in historic masonry walls required to provide ramped access through the facility. However, the apparently ad-hoc nature of the layout design and the very open-ended scope of works to the roof, walls, windows etc. suggests that the application team has relatively limited experience of the level of work required to maintain and repair historic masonry buildings.

If this was a planning application, I would condition that an appropriately experienced conservation professional should provide a comprehensive schedule of all works proposed, cross referenced with more detailed drawings than those plan and elevation drawings provided with the original application and FI response. I would also require detailed conservation method statements that build on the good but insufficiently detailed methodology notes provided in the FI response (pgs 13-17) for the appropriate repair of roofs, rainwater goods, external and internal wall masonry, stained glass window repairs and service provision.

I have not seen sufficient information provided to demonstrate that the proposed works will not have a material impact on the character and fabric of the protected structure. The items of work that clearly do have a direct impact on historic masonry fabric (creation of new openings) have not been adequately assessed to determine the nature or magnitude of the impacts on the character of the protected structure. I am not concerned that what is proposed will have a major impact on the protected structure but without the ability to guard against poor-quality design and workmanship (with appropriate conditions), I feel that there is an unacceptable level of potential risk to the character of the protected structure to declare the proposed works as exempted development.

The additional level of detail required for a planning application (conservation methodology and detailed scope of works) will be necessary to include on any contractor tender documents in order to ensure a good standard of durable and sustainable works to the protected structure. Lack of appropriate consideration of works exactly like those proposed for St Patrick's Hospital has resulted in very poor outcomes for many other protected structures and very inefficient use of resources and I would encourage the applicants to build on the acceptable ideas that they've submitted so far with a more detailed planning application.

Based on the foregoing and the report received from the ACO, it is considered that the proposal is not exempted development by virtue of the restrictions set out under Section 57 of the Act.

5. RECOMMENDATION

WHEREAS a question has arisen as to whether alterations and refurbishment / conservation works to the existing health care building to accommodate daycare and therapy services and to conserve and restore character to the Protected Structure at St. Patricks Hospital, Cahir Road, Cashel, Co. Tipperary is “development” and “exempted development”

AND WHERE AS Tipperary County Council in considering this referral had regard particularly to-

- (a) Sections 2, 3, 4 and 57 of the Planning and Development Act, 2000 as amended,
- (d) The details as submitted with the application on 16th April and 5th June 2026

AND WHEREAS Tipperary County Council has concluded that the alterations and refurbishment / conservation works to the existing health care building to accommodate daycare and therapy services and to conserve and restore character to the Protected Structure at St. Patricks Hospital, Cahir Road, Cashel, Co. Tipperary constitutes “development” within the meaning of the Planning and Development Act 2000, as amended and is **NOT** “exempted development”.

The development has been screened as to the requirement for Appropriate Assessment and Environmental Impact Assessment and it has been determined that same are not required.

District Planner:



Date: 23/06/2026

Senior Executive Planner:



Date: 23.6.2026

HABITATS DIRECTIVE APPROPRIATE ASSESSMENT (AA) SCREENING REPORT

STEP 1. Description of the project/proposal and local site characteristics:

(a) File Reference No:	S5/26/54
(b) Brief description of the project or plan:	Alterations and refurbishment / conservation works to the existing health care building to accommodate daycare and therapy services and to conserve and restore character to the protected structure.
(c) Brief description of site characteristics:	Existing building in settlement
(d) Relevant prescribed bodies consulted: e.g. DHLGH (NPWS), EPA, OPW	None
(e) Response to consultation:	None

STEP 2. Identification of relevant Natura 2000 sites using Source-Pathway-Receptor model and compilation of information on Qualifying Interests and conservation objectives.

European Site (code)	List of Qualifying Interest/Special Conservation Interest ¹	Distance from proposed development ² (km)	Connections (Source-Pathway-Receptor)	Considered further in screening Y/N
002137 Lower River Suir	https://www.npws.ie/protected-sites/sac/002137	Within 10km	None	No

STEP 3. Assessment of Likely Significant Effects

(a) Identify all potential direct and indirect impacts that may have an effect on the conservation objectives of a European site, taking into account the size and scale of the project under the following headings:

Impacts:	Possible Significance of Impacts: (duration/magnitude etc.)
Construction phase e.g. <ul style="list-style-type: none"> ● Vegetation clearance ● Demolition ● Surface water runoff from soil excavation/infill/landscaping (including borrow pits) ● Dust, noise, vibration ● Lighting disturbance ● Impact on groundwater/dewatering ● Storage of excavated/construction materials ● Access to site ● Pests 	No potential impacts.
Operational phase e.g. <ul style="list-style-type: none"> ● Direct emission to air and water ● Surface water runoff containing contaminant or sediment 	No potential impacts.

<ul style="list-style-type: none"> • Lighting disturbance • Noise/vibration • Changes to water/groundwater due to drainage or abstraction • Presence of people, vehicles and activities • Physical presence of structures (e.g. collision risks) • Potential for accidents or incidents 	
In-combination/Other	No potential impacts.
(b) Describe any likely changes to the European site:	
<p>Examples of the type of changes to give consideration to include:</p> <ul style="list-style-type: none"> • Reduction or fragmentation of habitat area • Disturbance to QI species • Habitat or species fragmentation • Reduction or fragmentation in species density • Changes in key indicators of conservation status value (water or air quality etc.) • Changes to areas of sensitivity or threats to QI • Interference with the key relationships that define the structure or ecological function of the site 	No potential impacts.
(c) Are 'mitigation' measures necessary to reach a conclusion that likely significant effects can be ruled out at screening?	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

STEP 4. Screening Determination Statement

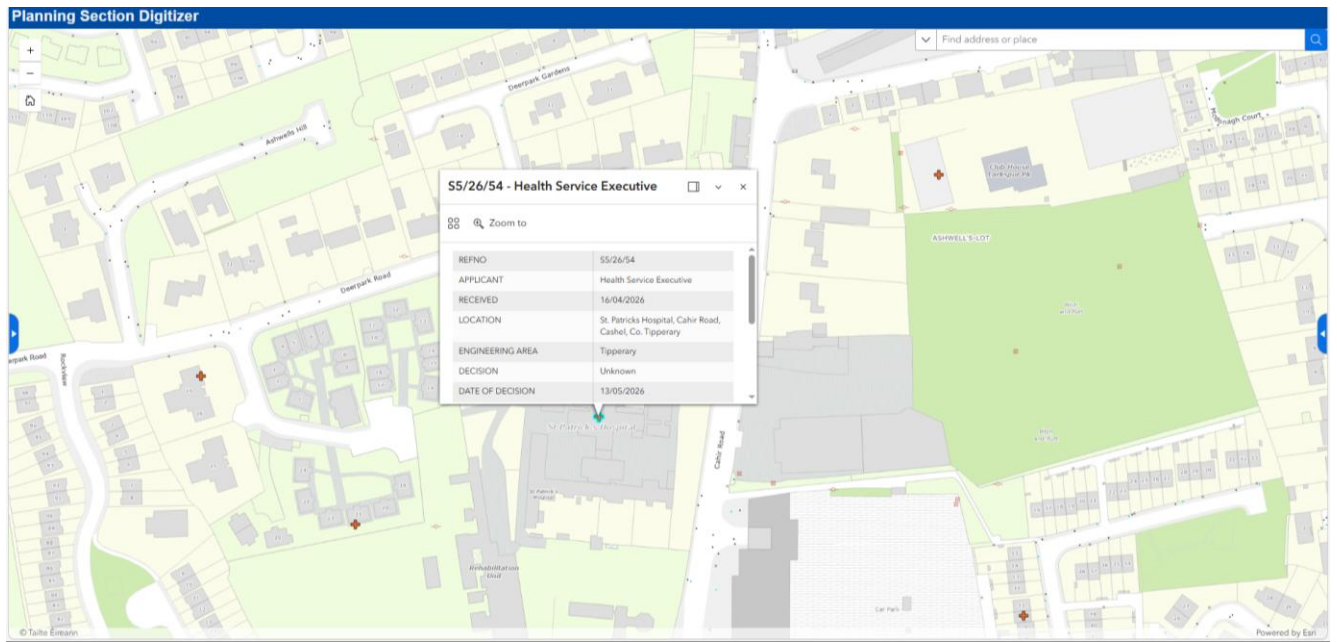
The assessment of significance of effects:
 Describe how the proposed development (alone or in-combination) is/is **not likely** to have **significant** effects on European site(s) in view of its conservation objectives.

The proposed development is not likely to have significant effects. Works relate to the building only.

Conclusion:

	Tick as Appropriate:	Recommendation:
(i) It is clear that there is no likelihood of significant effects on a European site.	<input checked="" type="checkbox"/>	The proposal can be screened out: Appropriate assessment not required.
(ii) It is uncertain whether the proposal will have a significant effect on a European site.	<input type="checkbox"/>	<input type="checkbox"/> Request further information to complete screening <input type="checkbox"/> Request NIS <input type="checkbox"/> Refuse planning permission
(iii) Significant effects are likely.	<input type="checkbox"/>	<input type="checkbox"/> Request NIS <input type="checkbox"/> Refuse planning permission

EIA Pre-Screening	
Establishing a development is a 'sub-threshold development'	
File Reference:	S5/25/86
Development Summary:	Alterations and refurbishment / conservation works to the existing health care building to accommodate daycare and therapy services and to conserve and restore character to the protected structure.
Was a Screening Determination carried out under Section 176A-C?	<input type="checkbox"/> Yes, no further action required <input checked="" type="checkbox"/> No, Proceed to Part A
A. Schedule 5 Part 1 - Does the development comprise a project listed in Schedule 5, Part 1, of the Planning and Development Regulations 2001 (as amended)? (Tick as appropriate)	
<input type="checkbox"/> Yes, specify class _____	EIA is mandatory
<input checked="" type="checkbox"/> No	No Screening required
B. Schedule 5 Part 2 - Does the development comprise a project listed in Schedule 5, Part 2, of the Planning and Development Regulations 2001 (as amended) and does it meet/exceed the thresholds? (Tick as appropriate)	
<input checked="" type="checkbox"/> No, the development is not a project listed in Schedule 5, Part 2	No Screening required
<input type="checkbox"/> Yes the project is listed in Schedule 5, Part 2 and meets/exceeds the threshold, specify class (including threshold): _____	EIA is mandatory
<input type="checkbox"/> Yes the project is of a type listed but is <i>sub-threshold</i> : _____	No Screening required
C. If Yes, has Schedule 7A information/screening report been submitted?	
<input type="checkbox"/> Yes, Schedule 7A information/screening report has been submitted by the applicant	Screening Determination required
<input type="checkbox"/> No, Schedule 7A information/screening report has not been submitted by the applicant	Preliminary Examination required



Original

TIPPERARY COUNTY COUNCIL

DELEGATED EMPLOYEE'S ORDER

File Ref: **S5/26/54** **Delegated Employee's Order No:** _____

SUBJECT: Section 5 Declaration

I, Brian Beck, Director of Services, Tipperary County Council, by virtue of the powers delegated to me in accordance with the provisions of Section 154 of the Local Government Act 2001, as amended by Schedule 1, Part 1 of the Local Government Reform Act 2014 under Chief Executive's Order No. 44188 dated 3rd October, 2025, hereby order that pursuant to the provisions of the Planning and Development Act 2000, as amended, that an application under Section 5 from Health Service Executive, C/O W.O. Morrissey & Sons, Thomas Street, Clonmel, Co. Tipperary, re: the alterations and refurbishment / conservation works to the existing health care building to accommodate daycare and therapy services and to conserve and restore character to the protected structure at St. Patricks Hospital, Cahir Road, Cashel, Co. Tipperary is development and is exempted development.

AND WHEREAS Tipperary County Council, in considering this referral, had regard particularly to –

- a) Sections 2, 3, 4 and 57 of the Planning and Development Act, 2000 as amended,
- b) (The details as submitted with the application on 16th April and 5th June 2026

AND WHEREAS Tipperary County Council has concluded that the alterations and refurbishment / conservation works to the existing health care building to accommodate daycare and therapy services and to conserve and restore character to the Protected Structure at St. Patricks Hospital, Cahir Road, Cashel, Co. Tipperary constitutes "development" within the meaning of the Planning and Development Act 2000, as amended and is **NOT** "exempted development".

The development has been screened as to the requirement for Appropriate Assessment and Environmental Impact Assessment and it has been determined that same are not required.

Signed:



Brian Beck
Director of Services

Date: 24/06/2026



Date: 24th June 2026

Our Ref: S5/26/54

Civic Offices, Nenagh

Health Service Executive
C/O W. O. Morrissey & Son Architects
Thomas Street
Clonmel
Co. Tipperary

Re: Declaration under Section 5 of the Planning and Development Act 2000, as amended.

Dear Sir/Madam,

I refer to your application for a Section 5 Declaration received on 16th April 2026, and Further Information received on 5th June 2026 in relation to the following proposed works:

Alterations and refurbishment/conservation work to the existing health care building to accommodate daycare and therapy services and to conserve and restore character to the protected structure at St. Patricks Hospital, Cahir Road, Cashel, Co. Tipperary

WHEREAS a question has arisen as to whether the proposed development is or is not exempted development:

AND WHEREAS Tipperary County Council, in considering this referral, had regard particularly to –

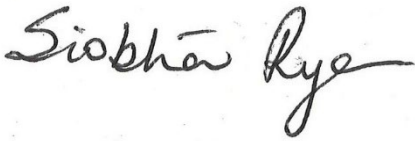
- a) Sections 2, 3, 4 and 57 of the Planning and Development Act, 2000 as amended,
- b) The details as submitted with the application on 16th April and 5th June 2026

AND WHEREAS Tipperary County Council has concluded that the alterations and refurbishment / conservation works to the existing health care building to accommodate daycare and therapy services and to conserve and restore character to the Protected Structure at St. Patricks Hospital, Cahir Road, Cashel, Co. Tipperary constitutes “development” within the meaning of the Planning and Development Act 2000, as amended and is **NOT** “exempted development”.

The development has been screened as to the requirement for Appropriate Assessment and Environmental Impact Assessment, and it has been determined that same are not required.

NOTE: Any person issued with a Declaration of a Planning Authority may refer the Declaration for review to An Coimisiún Pleanála, 64 Marlborough Street, Dublin 1, within four (4) weeks of the date of issue of the Declaration and on payment of the prescribed fee.

Yours sincerely

A handwritten signature in black ink that reads "Siobhán Rye". The signature is written in a cursive style with a long, sweeping tail on the letter 'y'.

for **Director of Services**